

CITY OF SEATTLE  
**FIRE STATION 32**  
 MASTER USE PERMIT - MARCH 24, 2014



**DESIGN TEAM**

ARCHITECT  
**BOHLIN CYWINSKI JACKSON**  
 1932 FIRST AVENUE, SUITE 916  
 SEATTLE WA 98101  
 CONTACT: MARK ADAMS

CIVIL  
**COUGHLIN PORTER LUNDEEN**  
 412 PINE STREET, SUITE 300  
 SEATTLE WA 98101  
 CONTACT: BART BALKO

LANDSCAPE  
**SWIFT COMPANY**  
 3131 WESTERN AVENUE, SUITE M423  
 SEATTLE WA 98121  
 CONTACT: ALISON MAITLAND SCHEETZ

STRUCTURAL  
**PCS STRUCTURAL SOLUTIONS**  
 811 FIRST AVENUE, SUITE 620  
 SEATTLE WA 98104  
 CONTACT: BOB COPELAND

MECHANICAL  
**HARGIS**  
 600 STEWART STREET, SUITE 1000  
 SEATTLE WA 98101  
 CONTACT: VERNON ENNS

ELECTRICAL  
**TRAVIS FITZMAURICE & ASSOCIATES**  
 1200 WESTLAKE AVENUE N, SUITE 509  
 SEATTLE WA 98109  
 CONTACT: KEVIN WARTELLE

ALERTING  
**TETRA TECH**  
 19803 NORTH CREEK PARKWAY  
 BOTHELL WA 98011  
 CONTACT: JOHN RICE

SUSTAINABILITY  
**BRIGHTWORKS**  
 412 NW COUCH STREET, SUITE 202  
 PORTLAND OR 97209  
 CONTACT: JOSH HATCH

DAYLIGHTING AND ENERGY ANALYSIS  
**INTEGRATED DESIGN LAB**  
 1500 E MADISON STREET, SUITE 200  
 SEATTLE WA 98122  
 CONTACT: JOEL LOVELAND

ENERGY MODELING AND ANALYSIS  
**SOLARC**  
 223 WEST 12TH AVENUE  
 EUGENE OR 97401  
 CONTACT: MIKE HATTEN

FIRE STATION CONSULTANT  
**TCA**  
 6211 ROOSEVELT WAY NE  
 SEATTLE WA 98115  
 CONTACT: BRIAN HARRIS

**DRAWING LIST**

A0.00 COVER SHEET  
 A0.01 ZONING DATA  
 A0.02 ZONING DATA 1

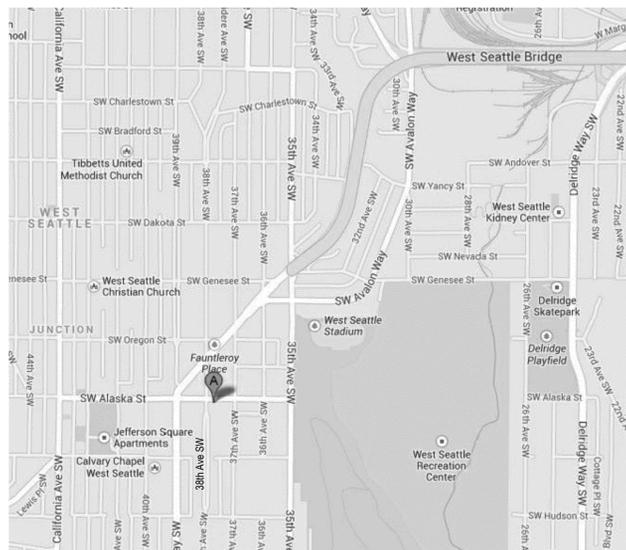
**SURVEY**  
 1 OF 2 SURVEY  
 2 OF 2 SURVEY

**CIVIL**  
 C-100 DEMOLITION PLAN  
 C-200 TEMPORARY EROSION CONTROL PLAN  
 C-300 CIVIL SITE PLAN  
 C-400 GRADING PLAN

**LANDSCAPE**  
 L1.01 SITE PLANTING PLAN  
 L1.02 THIRD FLOOR / ROOF PLANTING  
 L1.03 GREEN FACTOR  
 L1.04 PLANTING DETAILS 1

**ARCHITECTURAL**  
 AS1.00 SITE PLAN  
 A1.00 BASEMENT PLAN  
 A1.10 FIRST FLOOR PLAN  
 A1.20 SECOND FLOOR PLAN  
 A1.30 THIRD FLOOR PLAN  
 A1.40 ROOF PLAN  
 A2.11 BUILDING ELEVATIONS  
 A2.12 BUILDING ELEVATIONS  
 A3.11 BUILDING SECTIONS  
 A3.12 BUILDING SECTIONS

**VICINITY MAP**



**PROJECT SITE**

4700 38TH AVENUE SW  
 SEATTLE WA 98126  
 PARCEL # 612660-0005  
 DPD # 3014980

**OWNER**

CITY OF SEATTLE  
 DEPT. OF FINANCE AND  
 ADMINISTRATIVE SERVICES  
 700 5TH AVENUE, SUITE 5200  
 PO BOX 94680  
 SEATTLE WA 98124-4689

ARCHITECT  
**Bohlin Cywinski Jackson**  
 CIVIL  
**Coughlin Porter Lundeen**  
 LANDSCAPE  
**Swift Company**  
 STRUCTURAL  
**PCS Structural Solutions**  
 MECHANICAL  
**Hargis**  
 ELECTRICAL  
**Travis Fitzmaurice and Associates**  
 ALERTING  
**TetraTech**  
 SUSTAINABILITY  
**Brightworks**  
 DAYLIGHTING AND ENERGY ANALYSIS  
**Integrated Design Lab**  
 ENERGY MODELING AND ANALYSIS  
**Solarc**  
 FIRE STATION CONSULTANT  
**TCA**



No.	Description	Date
1	MUP RESUBMITTAL 1	10-23-2014

**Bohlin Cywinski Jackson**  
 Architecture Planning Interior Design  
 Wilkes-Barre Pittsburgh Philadelphia Seattle San Francisco  
 1932 First Avenue  
 Suite 916  
 Seattle, WA 98101  
 v: 206.256.0862 f: 206.256.0864

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 CITY OF SEATTLE  
**Fire Station 32**  
 4700 38TH AVENUE SW  
 SEATTLE WA 98126  
 DPD# 3014980

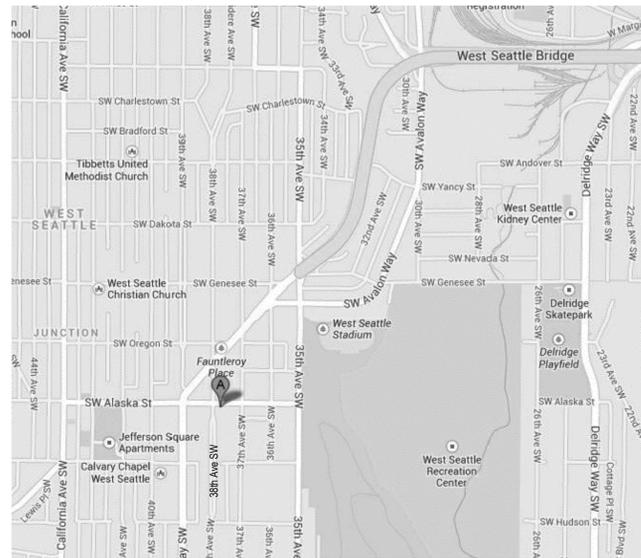
MASTER USE PERMIT

COVER SHEET

Scale	NTS
Date	MARCH 24, 2014
BCJ Project Number	07408

**A0.00**

VICINITY MAP



PROJECT SITE

4700 38TH AVENUE SW  
SEATTLE WA 98126

LEGAL DESCRIPTION:

LOTS 1 THROUGH 4, BLOCK 1, NORRIS' ADDITION TO WEST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 14 OF PLATS, PAGE 93, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT PORTION CONDEMNED BY CITY OF SEATTLE FOR WEST ALASKA STREET IN SUPERIOR COURT CASE NO. 70682, ORDINANCE NO. 21302 OF THE CITY OF SEATTLE.

PORTION TO BE LAID OFF AND DEDICATED:

SOUTH 2 FEET OF LOTS 1 THROUGH 4, EXCEPT THE EAST 2 FEET OF LOT 4, BLOCK 1 NORRIS' ADDITION TO WEST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 14 OF PLATS, PAGE 93, RECORDS OF KING COUNTY WASHINGTON; AND THE EAST 2 FEET OF LOT 4, BLOCK 1 NORRIS' ADDITION TO WEST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 14 OF PLATS, PAGE 93, RECORDS OF KING COUNTY WASHINGTON.

KING COUNTY ASSESSOR'S PARCEL NO.: 612660-0005

PROPERTY AREA (EXISTING): 11,648 SF

PROPERTY AREA (EXCLUDING DEDICATIONS): 11,220 SF

ZONING DESIGNATION: NC3P-40

ZONING BUILDING HEIGHT LIMIT CALCULATIONS

METHOD 2:

GRADE ELEVATIONS WALL LENGTHS

A: 268.0	a: 109.25
B: 271.1	b: 98.5
C: 273.6	c: 109.25
D: 269.3	d: 98.5

FORMULA

$$\frac{(A \times a) + (B \times b) + (C \times c) + (D \times d)}{a + b + c + d}$$

$$\frac{(268.0 \times 109.25) + (271.1 \times 98.5) + (273.6 \times 109.25) + (269.3 \times 98.5)}{(109.25 + 98.5 + 109.25 + 98.5)}$$

$$= 112399.2 / 415.5$$

$$= 270.50 \text{ AVERAGE EXISTING GRADE ELEVATION}$$

OWNER

CITY OF SEATTLE  
DEPT. OF FINANCE AND ADMINISTRATIVE SERVICES  
PO BOX 5TH AVENUE, SUITE 5200  
PO BOX 94680  
SEATTLE WA 98124-4689

CONTACT: MARK NAKAGAWARA  
(206) 684-0424  
mark.nakagawara@seattle.gov

APPLICANT

BOHLIN CYWINSKI JACKSON  
1932 FIRST AVENUE, SUITE 916  
SEATTLE WA 98101

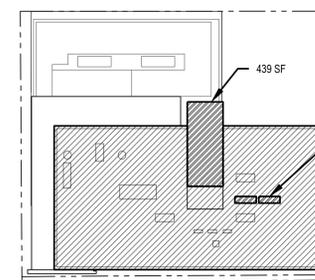
CONTACT: MARK ADAMS, AIA  
(206) 256-0862  
madams@bcj.com

DPD PROJECT NUMBER:  
3014980

PROJECT DESCRIPTION

DEMOLITION OF EXISTING FIRE STATION AND SITE FEATURES.  
CONSTRUCTION OF A NEW, 3-STORY, 20,089 SF STRUCTURE WITH  
BASEMENT, ELEVATED PARKING DECK AND SITE WALLS.

ROOFTOP COVERAGE CALCULATION



HEIGHT CALCULATIONS - ROOF COVERAGE

UPPER ROOF = 5,400 SF

STAIR TOWER 439

MECH 1 20

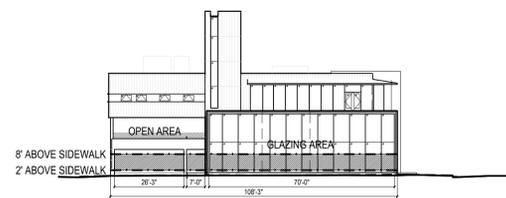
MECH 2 20

479 SF

AREA = 9% OF TOTAL UPPER ROOF

1

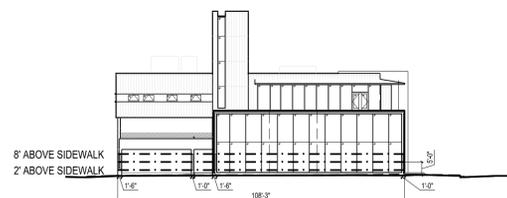
BUILDING FACADE TRANSPARENCY AND BLANK FACADE CALCULATIONS



SW ALASKA ST ELEVATION

PERCENTAGE OF TRANSPARENCY

FACADE AREA BETWEEN 2' & 8' = 650 SF  
GLAZING AREA 420 SF + OPEN AREA 200 SF = 620 SF  
PROPOSED TRANSPARENCY = 95.3%  
95.3% PROPOSED > 60% REQ'D → FACADE COMPLIES



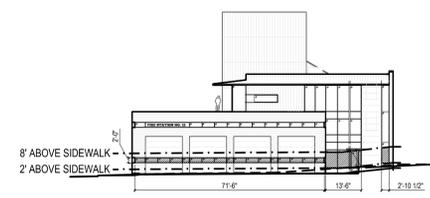
SW ALASKA ST ELEVATION

WIDTH OF BLANK SEGMENTS AT 5'-0" ABOVE SIDEWALK

PROPOSED MAXIMUM WIDTH OF BLANK SEGMENT = 1.5 LF  
1.5 LF PROPOSED < 2.0 LF MAX. → FACADE COMPLIES

PERCENTAGE OF BLANK FACADE

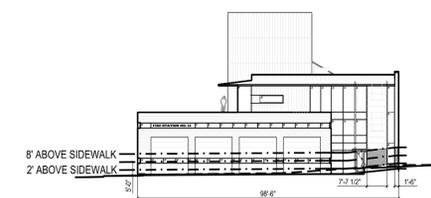
LENGTH OF FACADE BETWEEN 2' TO 8' = 108.25 LF  
BLANK FACADE LENGTH = 1.5 + 1 + 1.5 + 1 = 5 LF  
PROPOSED BLANK FACADE = 5 / 108.25 = 4.6%  
4.6% PROPOSED < 40% MAX. → FACADE COMPLIES



38TH AVE SW ELEVATION

PERCENTAGE OF TRANSPARENCY

FACADE AREA BETWEEN 2' & 8' = 610 SF  
GLAZING AREA = 143 + 81 + 17 SF = 241 SF  
PROPOSED TRANSPARENCY = 39.5%  
39.5% PROPOSED < 60% REQ'D → FACADE DOES NOT COMPLY



38TH AVE SW ELEVATION

WIDTH OF BLANK SEGMENTS AT 5'-0" ABOVE SIDEWALK

PROPOSED MAXIMUM WIDTH OF BLANK SEGMENT = 7.6 LF  
7.6 LF PROPOSED < 20 LF MAX. → FACADE COMPLIES

PERCENTAGE OF BLANK FACADE

LENGTH OF FACADE BETWEEN 2' TO 8' = 98.5 LF  
BLANK FACADE LENGTH = 7.6 + 1.5 = 9.1 LF  
PROPOSED BLANK FACADE = 9.1 / 98.5 = 9.2%  
9.2% PROPOSED < 40% MAX. → FACADE COMPLIES

TYPE 1 DEPARTURE REQUESTED

FAR CALCULATIONS

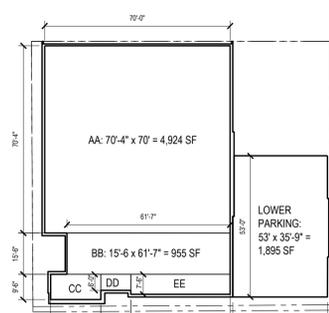
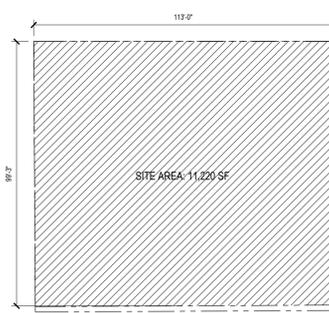
MAXIMUM ALLOWABLE FAR = 3

SITE AREA = 11,220 SF

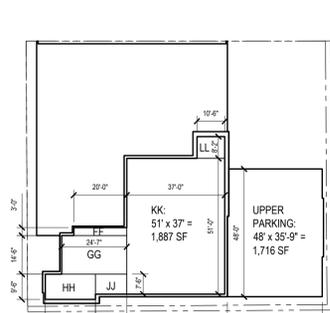
11,220 x 3 = 33,660 SF = MAXIMUM ALLOWABLE ABOVE-GRADE GROSS FLOOR AREA, INCLUDING COVERED PARKING

GROSS FLOOR AREA =	FLOOR 1 + PARKING:	8,303 SF
	FLOOR 2 + PARKING:	4,374 SF
	FLOOR 3:	5,621 SF
	ROOF:	328 SF
	<b>TOTAL:</b>	<b>18,626 SF</b>

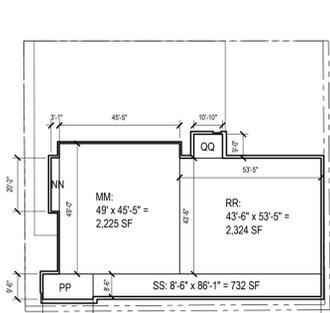
FAR = 18,626 / 11,220 = 1.66 < 3



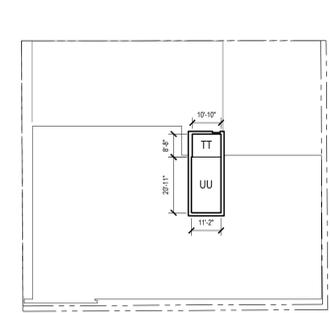
FLOOR 1: 6,408 SF INTERIOR + 1,895 SF PARKING



FLOOR 2: 2,658 SF INTERIOR + 1,716 SF PARKING



FLOOR 3: 5,621 SF INTERIOR



ROOF: 328 SF INTERIOR

ARCHITECT  
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CIVIL  
**Coughlin Porter Lundeen**

LANDSCAPE  
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**PCS Structural Solutions**

MECHANICAL  
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FIRE STATION CONSULTANT  
**TCA**



Revisions No.	Description	Date
1	MUP Correction 1	10-20-14

**Bohlin Cywinski Jackson**  
Architecture Planning Interior Design  
Wilkes-Barre Pittsburgh Philadelphia Seattle San Francisco  
1932 First Avenue  
Suite 916  
Seattle, WA 98101  
v: 206.256.0862 f: 206.256.0864

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CITY OF SEATTLE  
**Fire Station 32**  
3715 SW ALASKA STREET  
SEATTLE WA 98126  
DPD# 3014980

MASTER USE PERMIT

ZONING DATA

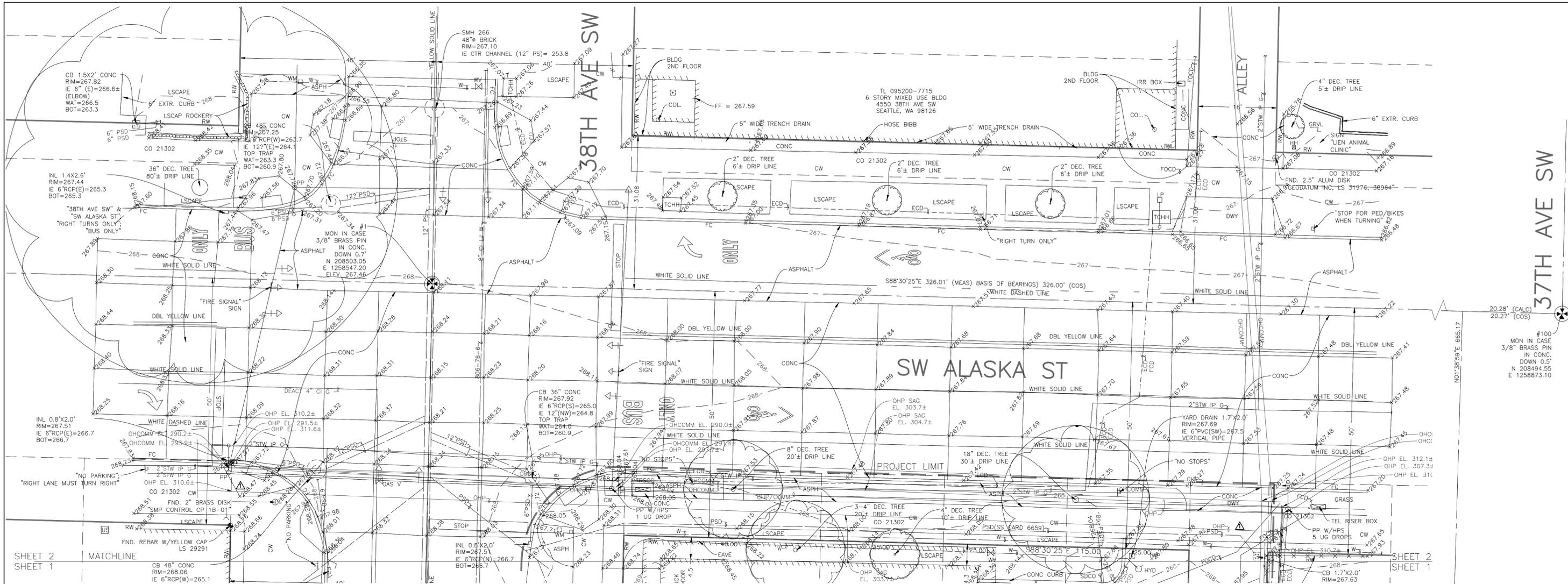
Scale AS NOTED

Date MARCH 24, 2014

BCJ Project Number 07408

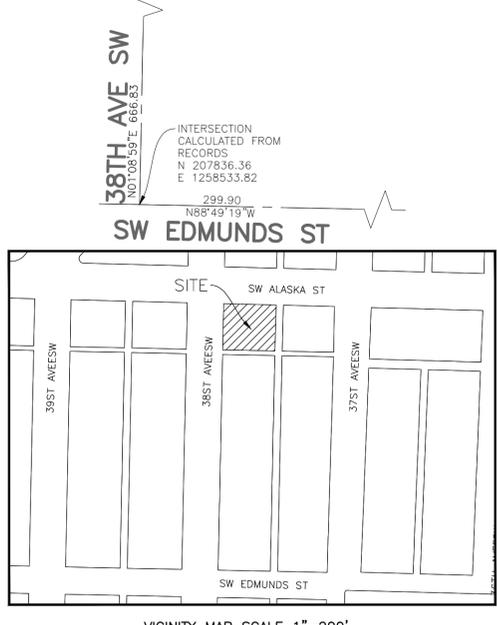
A0.01





**LEGEND**

BLRD	BOLLARD	SIGN MONUMENT IN CASE (FOUND OR SET)
TRSCC	TRAFFIC SIGNAL CONTROLLER CAB.	MIC (NOT FOUND)
CB	CATCH BASIN	ELECTRICAL VAULT
DRAIN	CATCH BASIN - PRIVATE	WMH
CO	CLEANOUT	WM
TREE		WMV
SHRUB OR BUSH		VEHICLE SIGNAL W/BACKPLATE
GM	GAS METER	NON-ILLUMINATED SIGN
ANCHOR		OVERHEAD POWER AND COMMUNICATION
GV	GAS VALVE	CW
HH	HAND HOLE	DWY
HYD	FIRE HYDRANT	FC
INLET		FACE OF CURB
JB	JUNCTION BOX	PSD
LP	LIGHT POLE (METAL)	PSS
PP	CITY WOOD POLE W/ LIGHT	PS
COMBINED LIGHTING STRAIN POLE		ECD
LUMINAIRE		TCD
PRIVATE MAILBOX		CONCRETE WALK DRIVEWAY
US MAILBOX		PIPE STORM DRAIN
MANHOLE		PIPE SEWER SANITARY
MONITOR WELL		PIPE SEWER COMBINED
CITY WOOD POLE		ELECTRICAL CONDUIT
UTILITY GUY POLE		TELEPHONE/COMMUNICATION CONDUIT
		ROCK FACING
		RIGHT OF WAY LINE
		CENTER LINE
		PROJECT LIMITS



**SURVEY NOTES**

SITE ADDRESS:  
CITY OF SEATTLE FIRE STATION NO. 32  
4700 38TH AVE SW, SEATTLE, WA 98126

LEGAL DESCRIPTION:  
(TAX PARCEL NO. 612660-0005)

LOTS 1 THROUGH 4, BLOCK 1, NORRIS' ADDITION TO WEST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 14 OF PLATS, PAGE 93, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT PORTION CONDEMNED BY CITY OF SEATTLE FOR WEST ALASKA STREET IN SUPERIOR COURT CASE NO. 70682, ORDINANCE NO. 21302 OF THE CITY OF SEATTLE.  
(NOTE: THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT)

SITE AREA: 11,648 SQ.FT. (0.2374 ACRES)

MERIDIAN:  
WASHINGTON COORDINATE SYSTEM, NAD83/91, NORTH ZONE

BASIS OF BEARINGS AND COORDINATES:  
HELD S88°30'25"E 326.01' (MEASURED), 326.00' (COS)  
BETWEEN THE MONUMENTS SHOWN ON SW ALASKA ST AT 38TH AVE SW AND 37TH AVE SW, AS DETERMINED BY RTK GPS SURVEY.  
(SEE COORDINATE INFO BELOW)

INSTRUMENT:  
TRIMBLE R8 GNSS RECEIVERS; TRIMBLE S8 2" TOTAL STATION

PROJECT HORIZONTAL CONTROL POINTS:

- CONC. MON W/ 3/8" BRASS TACK IN CASE AT INTERSECTION OF SW ALASKA ST & 38TH AVE SW, 0.5' BELOW GRADE  
N208503.05' E1258547.20' ELEV. 267.46'
- CONC. MON W/ 3/8" BRASS TACK IN CASE AT INTERSECTION OF SW ALASKA ST & 37TH AVE SW, 0.7' BELOW GRADE  
N208494.55' E1258873.10' ELEV. 266.07'

UNITS OF MEASURE: U.S. SURVEY FEET.

VERTICAL DATUM: NAVD 88  
(PER WGA SURVEY DATA WAREHOUSE SURVEY CONTROL POINTS)

BENCHMARKS:

PROJECT:

- CITY OF SEATTLE BRASS CAP SNV-5244, AT THE MID POINT OF CURVE AT THE INTERSECTION OF BK. CW IN NW CORNER OF INTERSECTION OF FAUNTLEROY WAY SW, 39TH AVE SW & SW ALASKA ST.  
ELEV.=269.357'  
SITE:
- 3/8" BRASS TACK IN CONC IN CASE, AT INTERSECTION OF SW ALASKA ST & 38TH AVE SW, 0.5' BELOW GRADE  
ELEV.=267.46'

ACCURACY:  
ACCURACIES OR CLOSURES EXCEEDING THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.

CONTOUR INTERVAL: 1 FOOT

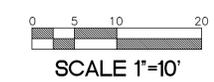
DATE OF SURVEY: MARCH 2013

REFERENCES:

PLAT OF NORRIS ADDITION TO WEST SEATTLE, VOL. 14, P. 93  
PLAT OF BOSTON CO'S PLAT OF WEST SEATTLE, VOL. 3, P. 19  
KING COUNTY ASSESSOR'S MAP NE SEC. 23, T 24N, R 3 E., WM  
SPU QUARTER MAP NO. 58 - NE SEC. 23, T 24N, R 3 E., WM  
SPU SANITARY AND STORM, WATER MAP, SS-CARD 6659  
SPU GIS UTILITY MAP PRINT-OUT, FRANCHISE MAP 240-100-271  
ENGINEER'S PLAN 774-591, 806-76, 807-96-1-2, 835-74-1  
SEATTLE FIELD BOOKS B2337 (P 40,41,42,53,54,55), B1769 (P55-56), B2848 (P 1)  
PSE GAS MAP PLAT: 198065, DATED: 01-22-2013  
WGS SURVEY DATA WAREHOUSE: DATA SHEET SNV-5244  
RECORD OF SURVEY, REC NO'S. 8910249010, 20090813900003, 20110310900002, 20110518900016  
CO 21302

UTILITY NOTES:

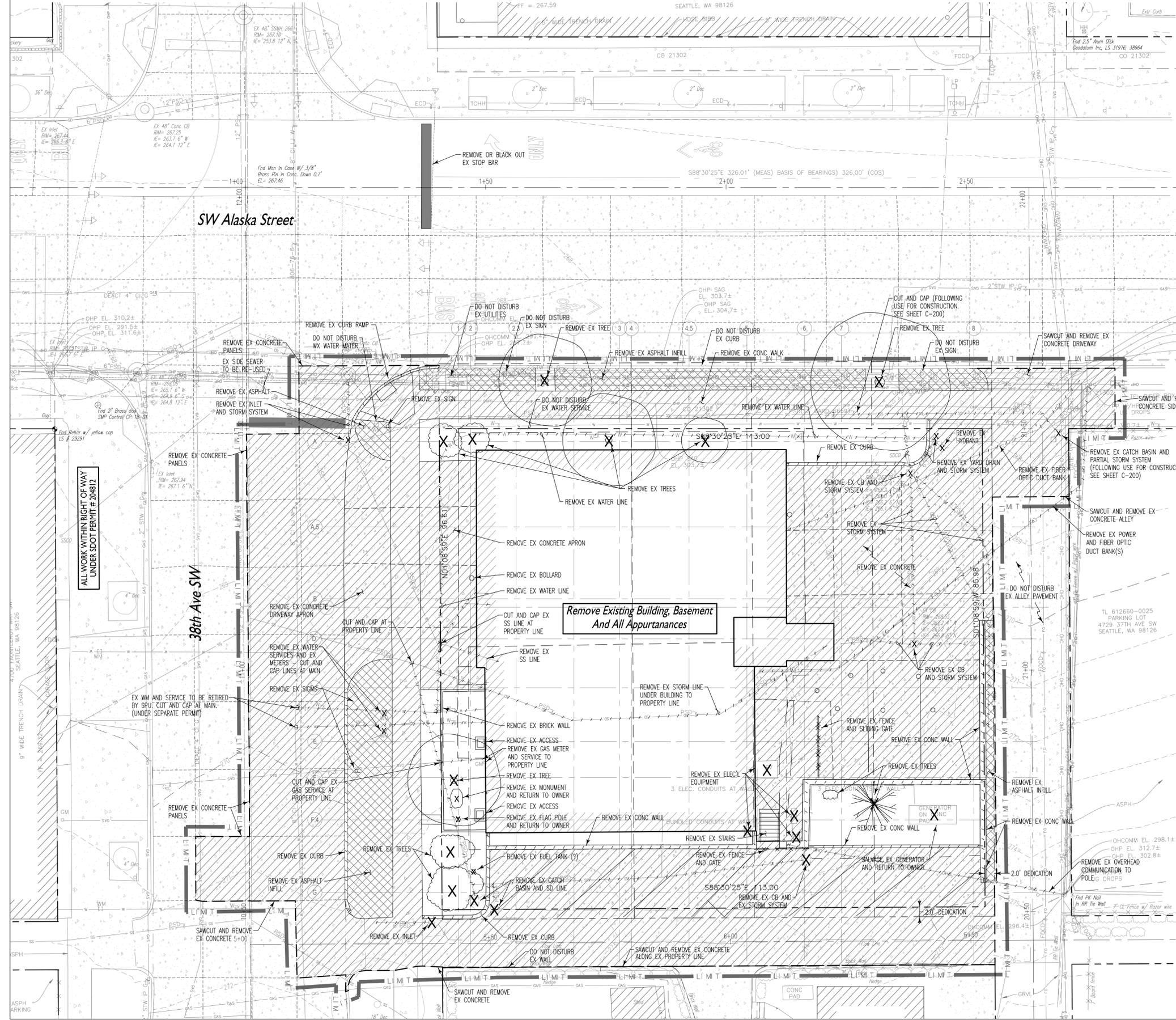
<p>IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT PLOTTED TO ORIGINAL SCALE.</p>	<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>REV NO</th> <th>INITIALS AND DATE</th> <th>NAME</th> <th>INITIALS AND DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>JGW 4/25/14</td> <td>JGW</td> <td>3/22/13</td> </tr> <tr> <td>2</td> <td>AMF/JGW/OGC 7/26/13</td> <td>AMF/JGW/OGC</td> <td>3/22/13</td> </tr> <tr> <td>3</td> <td>JGW 4/25/14</td> <td>JGW</td> <td>4/25/14</td> </tr> <tr> <td>4</td> <td>JGW 7/26/13</td> <td>JGW</td> <td>7/26/13</td> </tr> </tbody> </table>	REV NO	INITIALS AND DATE	NAME	INITIALS AND DATE	1	JGW 4/25/14	JGW	3/22/13	2	AMF/JGW/OGC 7/26/13	AMF/JGW/OGC	3/22/13	3	JGW 4/25/14	JGW	4/25/14	4	JGW 7/26/13	JGW	7/26/13		<p>901 5th AVENUE, STE. 1610 SEATTLE, WA. 98164 PH.: 206-621-1218</p>	<p><b>SURVEY MAP FOR</b> <b>FIRE STATION 32</b> <b>4700 38TH AVE SW, SEATTLE</b></p>	<p>DATE: MAR. 22, 2013 SCALE: 1" = 10' JOB NO: 1211-1 NE1/4, NE1/4, SEC. 23, T 24N, R 3E, W.M. SHEET 2 OF 2</p>
REV NO	INITIALS AND DATE	NAME	INITIALS AND DATE																						
1	JGW 4/25/14	JGW	3/22/13																						
2	AMF/JGW/OGC 7/26/13	AMF/JGW/OGC	3/22/13																						
3	JGW 4/25/14	JGW	4/25/14																						
4	JGW 7/26/13	JGW	7/26/13																						



Call before you Dig.  
8-1-1 or  
1-800-424-5555  
UNDERGROUND SERVICE (USA)

**LEGEND**

	EXISTING	REMOVE	PROPOSED
ASPHALT PAVING			
CONCRETE PAVING			
CONCRETE PAVING (HEAVY)			
BUILDINGS			
GRAVEL			
CURBING			
ROCKERY			
TREE			
WATER LINE			
STORM DRAINAGE LINE			
SANITARY SEWER LINE			
POWER			
TELEPHONE LINE			
GAS LINE			
WATER METER/VALVE/FH			
STORM CB/MH			
SANITARY SEWER MH/CO			
GAS VALVE/METER			
STREET LIGHT ASSEMBLY			
SAWCUT LINE			
CONSTRUCTION LIMITS			



- ARCHITECT  
**Bohlin Cywinski Jackson**
- CIVIL  
**Coughlin Porter Lundeen**
- LANDSCAPE  
**Swift Company**
- STRUCTURAL  
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**Integrated Design Lab**
- ENERGY MODELING AND ANALYSIS  
**Solarc**
- FIRE STATION CONSULTANT  
**TCA**

Seal

10/23/20A

No.	Description	Date
1	MUP RESUBMITTAL 1	10-23-2014

**Bohlin Cywinski Jackson**  
Architecture Planning Interior Design  
Wilkes-Barre Pittsburgh Philadelphia Seattle San Francisco  
1932 First Avenue  
Suite 916  
Seattle, WA 98101  
v. 206.256.0862 f. 206.256.0864

**COUGHLINPORTERLUNDEEN**  
A CONSULTING STRUCTURAL AND CIVIL ENGINEERING CORPORATION  
801 SECOND AVENUE - SUITE 900 P. 206/343-0460  
SEATTLE, WA 98104 F. 206/343-5691

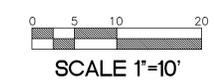
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CITY OF SEATTLE  
**Fire Station 32**  
4700 38TH AVENUE SW  
SEATTLE WA 98126  
DPD# 3014980

**MASTER USE PERMIT**

**Demolition Plan**

Scale	1" = 10'
Date	MARCH 24, 2014
BCJ Project Number	07408

**C-100**



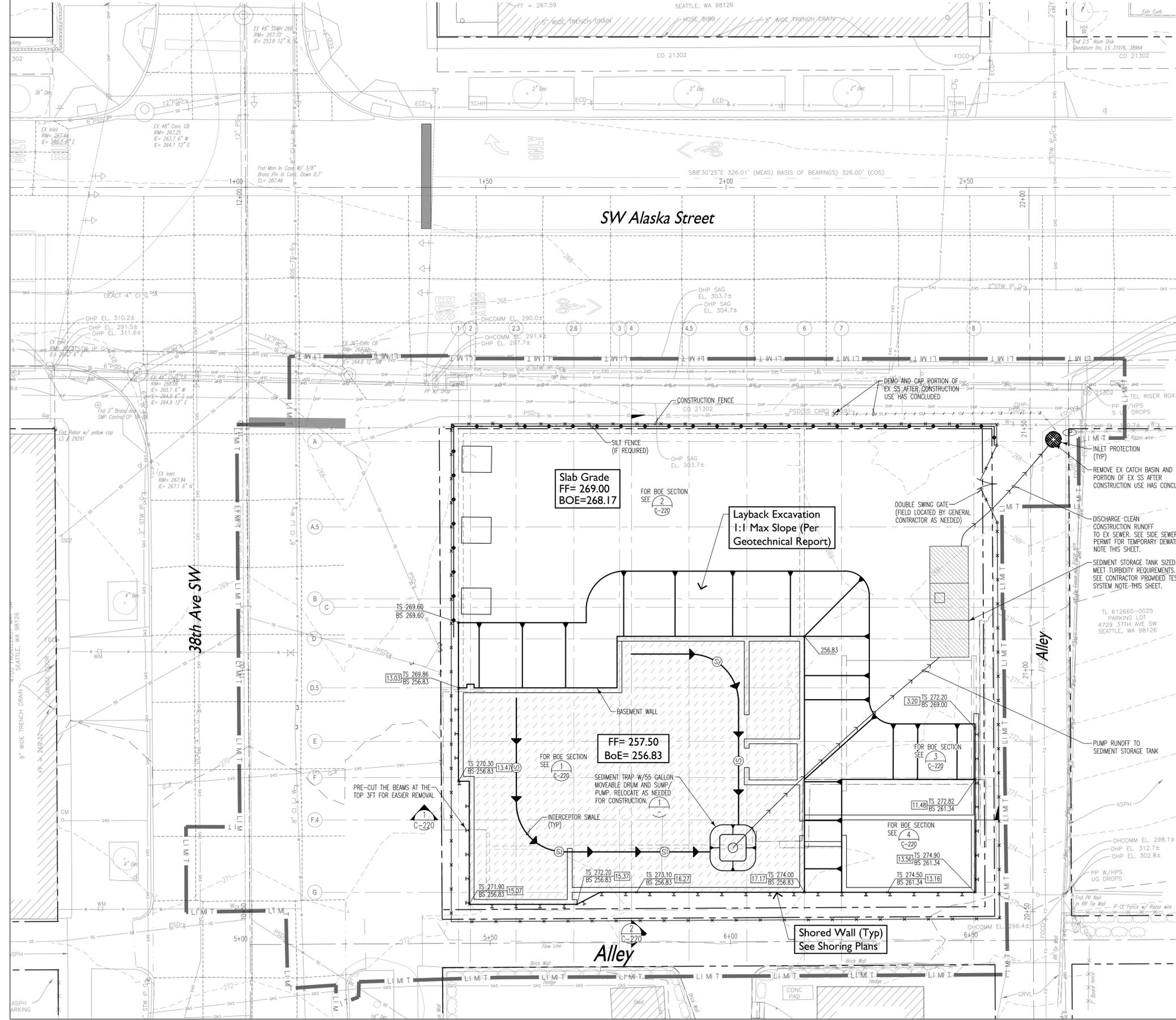
Call before you Dig.  
8-1-1 or  
1-800-424-5555  
UNDERGROUND SERVICE (USA)

**LEGEND**

	EXISTING	REMOVE	PROPOSED
ASPHALT PAVING	[Symbol]	[Symbol]	[Symbol]
CONCRETE PAVING	[Symbol]	[Symbol]	[Symbol]
CONCRETE PAVING (HEAVY)	[Symbol]	[Symbol]	[Symbol]
BUILDINGS	[Symbol]	[Symbol]	[Symbol]
GRAVEL	[Symbol]	[Symbol]	[Symbol]
CURBING	[Symbol]	[Symbol]	[Symbol]
ROCKERY	[Symbol]	[Symbol]	[Symbol]
TREE	[Symbol]	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]	[Symbol]
STORM DRAINAGE LINE	[Symbol]	[Symbol]	[Symbol]
SANITARY SEWER LINE	[Symbol]	[Symbol]	[Symbol]
POWER	[Symbol]	[Symbol]	[Symbol]
TELEPHONE LINE	[Symbol]	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]	[Symbol]
WATER METER/VALVE/FH	[Symbol]	[Symbol]	[Symbol]
STORM CB/MH	[Symbol]	[Symbol]	[Symbol]
SANITARY SEWER MH/CO	[Symbol]	[Symbol]	[Symbol]
GAS VALVE/METER	[Symbol]	[Symbol]	[Symbol]
STREET LIGHT ASSEMBLY	[Symbol]	[Symbol]	[Symbol]
CONSTRUCTION FENCE	[Symbol]	[Symbol]	[Symbol]
SILT FENCE	[Symbol]	[Symbol]	[Symbol]
CONSTRUCTION LIMITS	[Symbol]	[Symbol]	[Symbol]
INLET PROTECTION	[Symbol]	[Symbol]	[Symbol]
RIP-RAP CONSTRUCTION ENTRANCE	[Symbol]	[Symbol]	[Symbol]
ASPHALT TREATED BASE (ATB)	[Symbol]	[Symbol]	[Symbol]

**TESC LEGEND**

[Symbol]	PROPERTY LINE
[Symbol]	LIMITS OF CONSTRUCTION
[Symbol]	INTERCEPTOR SWALE (PER 2005 USE BMP C200)
[Symbol]	FILTER FABRIC FENCING (PER 2005 USE BMP C230)
[Symbol]	TEMPORARY CONSTRUCTION FENCING (PER 2005 USE BMP C103)
[Symbol]	TEMPORARY CONSTRUCTION GATE
[Symbol]	BOTTOM OF EXCAVATION
[Symbol]	SHORING
[Symbol]	TIE BACKS
[Symbol]	INLET PROTECTION (PER 2005 USE BMP C220)
[Symbol]	BUILDING FOOTING
[Symbol]	TREE PROTECTION (PER 2005 USE BMP 1101)



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1932 First Avenue  
Suite 916  
Seattle, WA 98101  
v. 206.256.0862 f. 206.256.0864

**COUGHLINPORTERLUNDEEN**  
A CONSULTING STRUCTURAL AND CIVIL ENGINEERING CORPORATION  
801 SECOND AVENUE - SUITE 900  
SEATTLE, WA 98104  
P. 206/343-0460  
F. 206/343-5691

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**TESC and Excavation Plan**

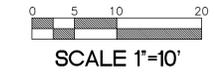
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Date MARCH 24, 2014  
BCJ Project Number 07408

**C-200**



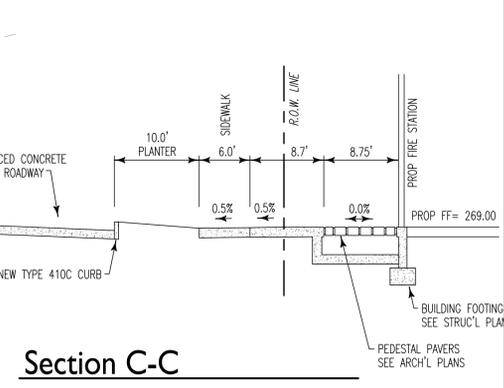
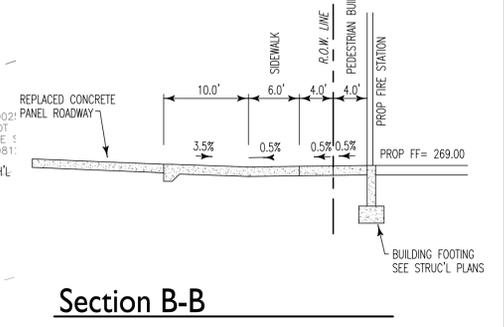
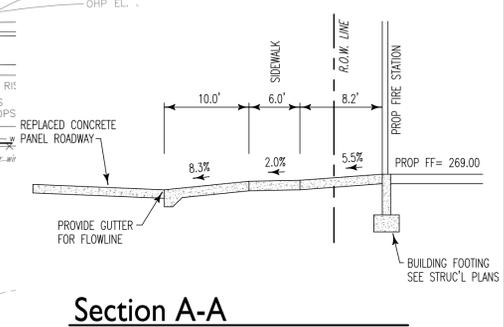
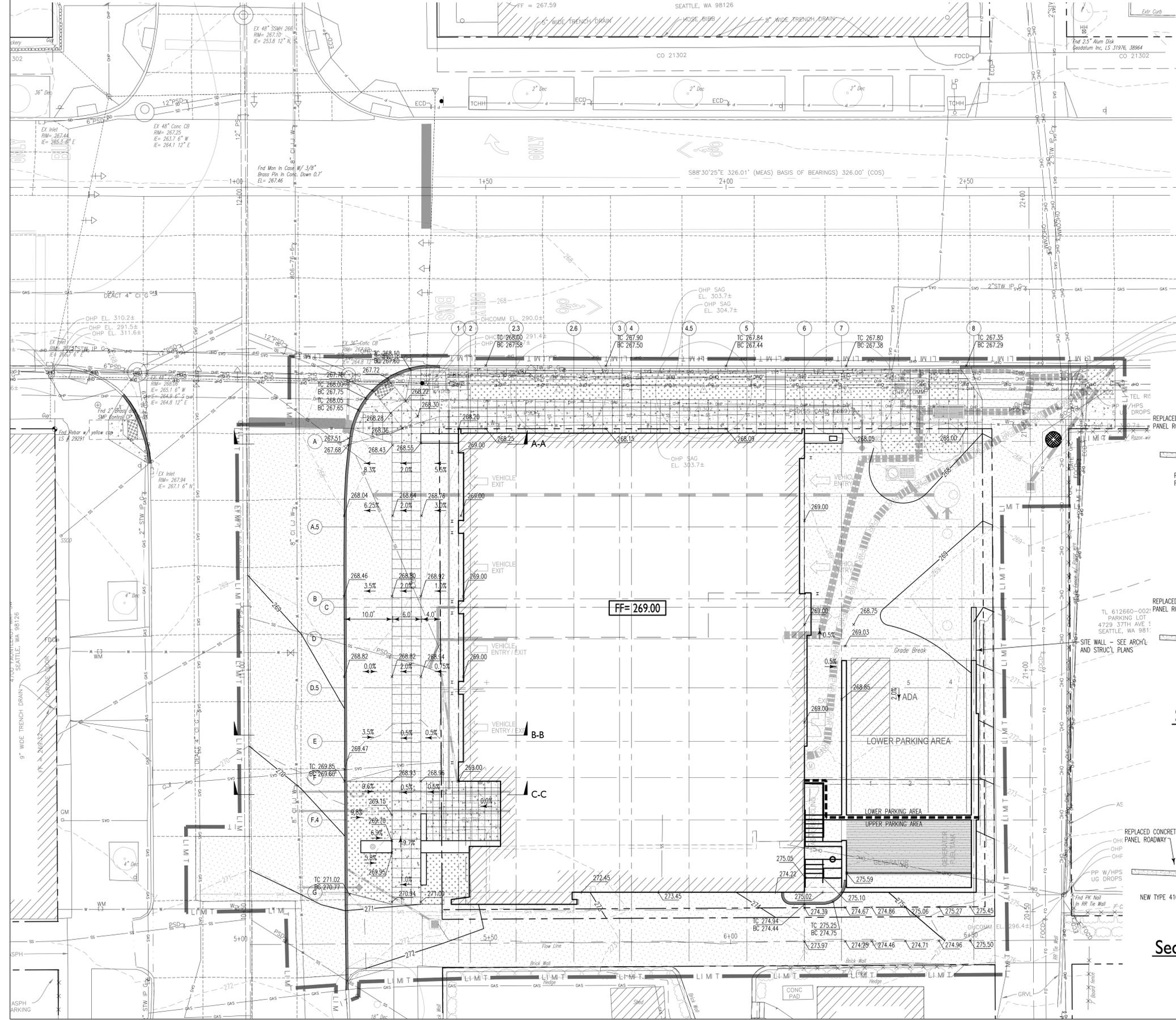


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1-800-424-5555  
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**LEGEND**

	EXISTING	REMOVE	PROPOSED
ASPHALT PAVING			
CONCRETE PAVING			
CONCRETE PAVING (HEAVY)			
BUILDINGS			
GRAVEL			
CURBING			
ROCKERY			
TREE			
WATER LINE			
STORM DRAINAGE LINE			
SANITARY SEWER LINE			
POWER			
TELEPHONE LINE			
GAS LINE			
WATER METER/VALVE/FH			
STORM CB/MH			
SANITARY SEWER MH/CO			
GAS VALVE/METER			
STREET LIGHT ASSEMBLY			
CONSTRUCTION LIMITS			



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1932 First Avenue  
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Seattle, WA 98101  
v: 206.256.0862 f: 206.256.0864

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A CONSULTING STRUCTURAL AND CIVIL ENGINEERING CORPORATION  
801 SECOND AVENUE - SUITE 900  
SEATTLE, WA 98104  
P: 206/343-0460  
F: 206/343-5691

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**Grading Plan**

Scale 1" = 10'  
Date MARCH 24, 2014  
BCJ Project Number 07408

**C-400**

**GENERAL NOTES**

1. See Site Survey for existing conditions.
2. See Architecture Drawings for Zoning Data Sheet and Plot Plan, including open space calculations and dimensions of open space.
3. See sheet L1.02 for Third Floor and Roof Planting Plan.
4. All planting areas including green roofs to be irrigated by fully automatic irrigation system.
5. See sheet L1.03 for Green Factor Calculations.
6. All new street trees to be planted according to City of Seattle Right-of-Way Improvement Manual standards, with root barriers.
7. Amend native soils in ROW planting areas per Standard Plan 142 and native soils for Street Tree planting per Standard Plan 100A.
8. A minimum of twenty-five percent of all plantings are drought tolerant per City of Seattle Green Factor Plant List. Drought tolerant plant species are indicated on the plant schedule with an asterisk.
9. Street tree selections shall be coordinated with SDOT Urban Forestry prior to final selection.
10. See Sheet L1.04 for Planting Details.

**ABBREVIATIONS**

ARCH	Architecture
CAL	Caliper
CONC	Concrete
(E)	Existing
GAL	Gallon
MIN	Minimum
O.C.	On center
QTY	Quantity
R.O.W.	Right of Way
SF	Square feet
SPP	Species
TYP	Typical

- 7 SED SPP
- 16 SED AUT
- 8 HEL SEM
- UTILITY VAULT, SEE CIVIL
- FLAG POLE, SEE ARCH
- 54 FES GLA
- 5 TAX MED
- 21 FRA CHI



**1 SITE PLANTING PLAN**

**PLANT SCHEDULE**

QTY.	ABBREV.	BOTANICAL NAME	COMMON NAME	NOTES
<b>Street Trees</b>				
3	MAL TRA	Malus transitoria 'Schmidtcutleaf' Golden Raindrops	Golden Raindrops Crabapple	2" Cal., B&B Matching set
<b>Trees</b>				
2	AME ALN	Amelanchier alnifolia	Serviceberry	Multi-stemmed 1.5" Cal., 3-stem minimum
<b>Shrubs</b>				
23	TAX MED	Taxus x media 'Everlow'	Everlow Yew	2 Gal., spacing as shown

QTY.	ABBREV.	BOTANICAL NAME	COMMON NAME	NOTES
<b>Perennials, Grasses, Groundcover</b>				
28	ANE HUP	Anemone hupehensis	Windflower	2 Gal., 24" O.C.
5	CAL ACU	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	2 Gal., 30" O.C.
78	FES GLA	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	2 Gal., 12" O.C.
85	FRA CHI	Fragaria chiloensis *	Beach Strawberry	4" pot, spacing as shown
8	HEL SEM	Helictotrichon sempervirens	Blue Oat Grass	2 Gal., spacing as shown
93	LIR SPP	Liriope spp. *	Liriope	1 Gal., 18" O.C.
23	POL MUN	Polystichum munitum *	Sword Fern	2 Gal., 36" O.C.
21	SED AUT	Sedum 'Autumn Joy' *	Autumn Joy Sedum	2 Gal., 18" O.C.
7	SED SPP	Sedum spp. *	Sedum Species	4" pot, spacing as shown

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**SITE PLANTING PLAN**

Scale	1/8"=1'-0"
Date	MARCH 24, 2014
BCJ Project Number	07408

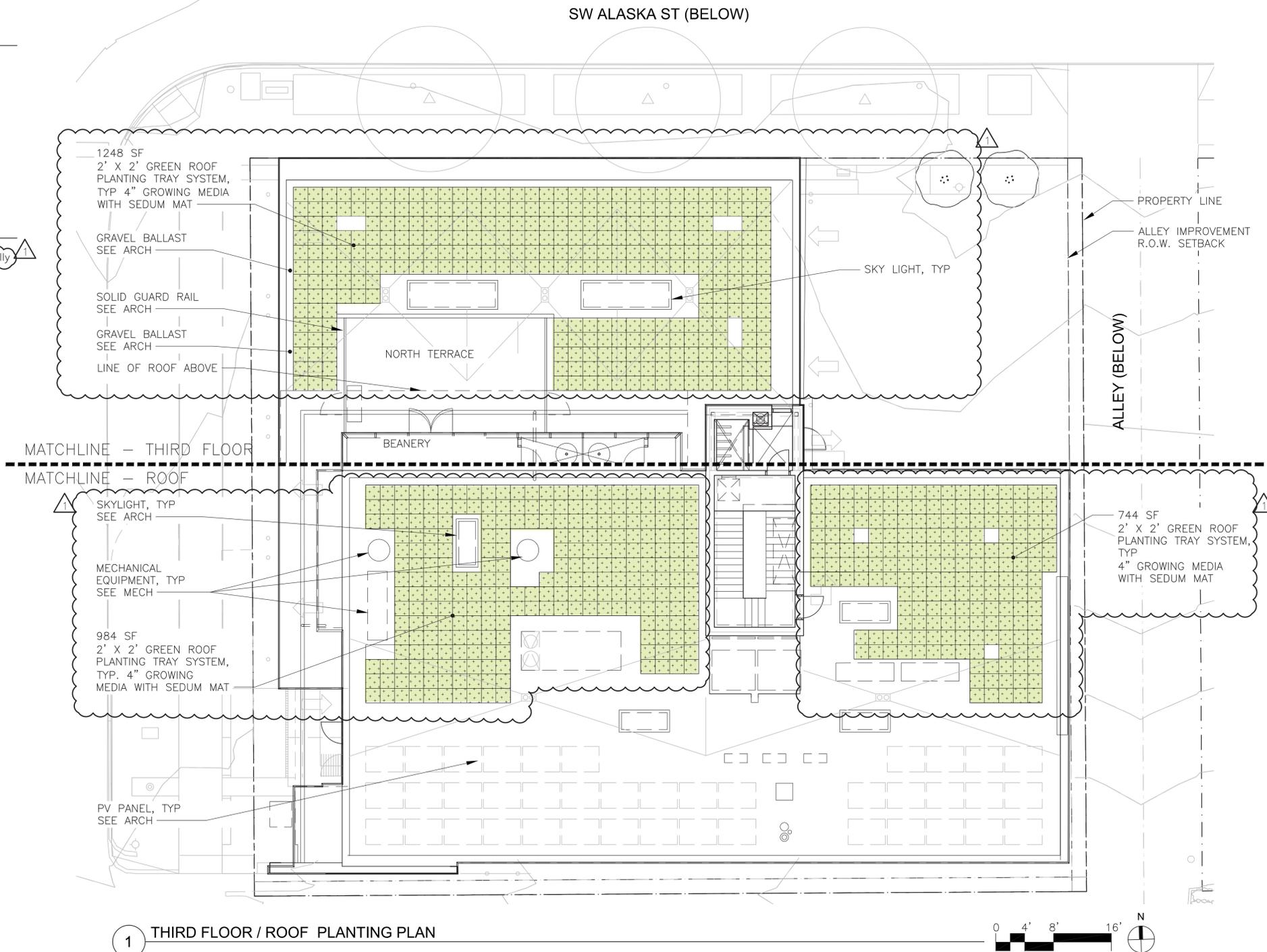
**L1.01**

**NOTES**

1. See L1.01 for General Notes and Abbreviations.
2. See L1.01 for Plant Schedule.

**IRRIGATION NOTES**

1. All roof planting areas shall be irrigated by a fully automated irrigation system.
2. Irrigation system zones shall a combination of dripline grids or high efficiency rotary spray sprinklers to provide complete coverage.
3. Water supply for roof level irrigation shall be located in coordination with mechanical plumbing system pipe layout in the building.
4. Drainage layers shall be included as part of the green roof construction assembly.



**1 THIRD FLOOR / ROOF PLANTING PLAN**



**GREEN ROOF SCHEDULE**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	NOTES
	2976 SF	Sedum spp. *	Sedum Species	Pregrown Sedum Mat

\* Drought tolerant plant per Seattle Green Factor Plant List.

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**THIRD FLOOR / ROOF PLANTING PLAN**

Scale	1/8"=1'-0"
Date	MARCH 24, 2014
BCJ Project Number	07408

NOTES:

1. See L1.01 for General Notes and Abbreviations.

GREEN FACTOR NOTES

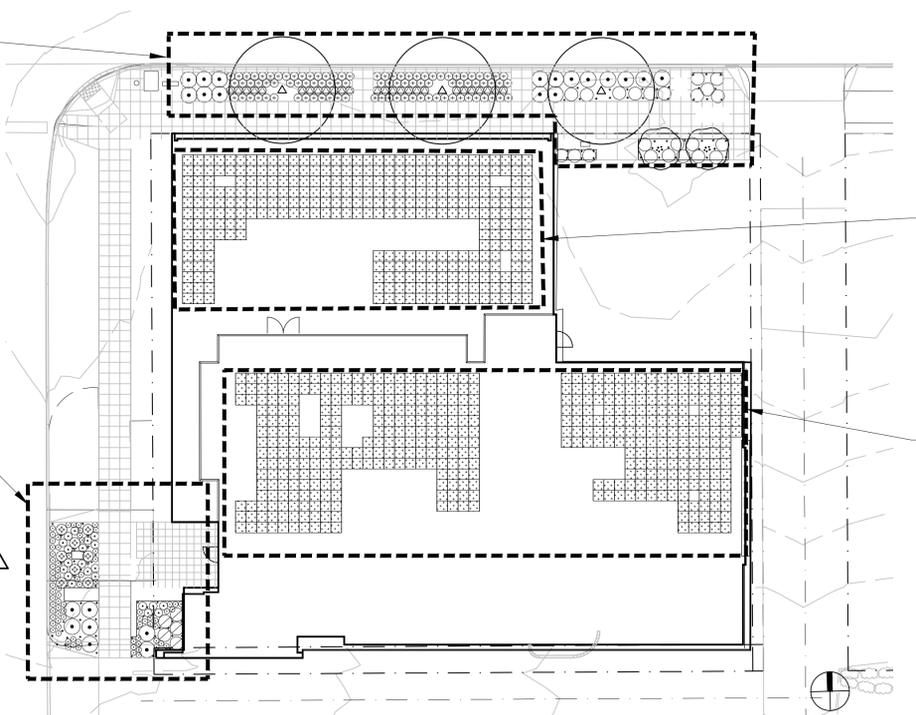
- These notes summarize Green Factor Landscape elements for this project per City of Seattle Green Factor Score Sheet. See project Green Factor Score Sheet and Worksheet this sheet for detailed information.
- These calculations include trees and plant areas to meet the required Green Factor score of 0.3 per Section 23.45.570.D2 and pursuant to the standards set forth in Section 23.86.019 of the City of Seattle Land Use Code.
- Green Factor Attachment A of DR10-2011 - Landscape Improvement Checklist will be submitted upon construction and completion of all landscape work.

AREA 2  
SW ALASKA ST  
A2 578 SQ FT  
B1 578 SQ FT  
B2 16  
B3 2  
B4 3  
H3 1178 SQ FT

AREA 1  
ENTRY  
A2 300 SQ FT  
B1 300 SQ FT  
B2 12  
H3 300 SQ FT

AREA 3  
THIRD FLOOR  
C2 1248 SQ FT  
H1 1248 SQ FT

AREA 4  
ROOF  
C2 1728 SQ FT  
H1 1728 SQ FT



Revised 12/28/10

GREEN FACTOR SCORE SHEET

PROJECT TITLE: FIRE STATION 32

SEATTLE GREEN FACTOR

LANDSCAPE ELEMENTS\*\*

A LANDSCAPED AREAS (SELECT ONE OF THE FOLLOWING FOR EACH AREA)

- LANDSCAPED AREAS WITH A SOIL DEPTH OF LESS THAN 24"
- LANDSCAPED AREAS WITH A SOIL DEPTH OF 24" OR GREATER
- BIORETENTION FACILITIES

B PLANTING (CREDIT FOR PLANTS IN LANDSCAPED AREAS FROM SECTION A)

- MULCH, GROUND COVERS, OR OTHER PLANTS LESS THAN 2' TALL AT MATURITY
- SHRUBS OR PERENNIALS 2' AT MATURITY - CALCULATED AT 12 SQ FT PER PLANT (TYPICALLY PLANTED NO CLOSER THAN 18" ON CENTER)
  - TREE CANOPY FOR "SMALL TREES" OR EQUIVALENT (CANOPY SPREAD 8' TO 15' - CALCULATED AT 75 SQ FT PER TREE)
  - TREE CANOPY FOR "SMALL-MEDIUM TREES" OR EQUIVALENT (CANOPY SPREAD 16' TO 20' - CALCULATED AT 150 SQ FT PER TREE)
  - TREE CANOPY FOR "MEDIUM-LARGE TREES" OR EQUIVALENT (CANOPY SPREAD 21' TO 25' - CALCULATED AT 250 SQ FT PER TREE)
  - TREE CANOPY FOR "LARGE TREES" OR EQUIVALENT (CANOPY SPREAD 26' TO 30' - CALCULATED AT 350 SQ FT PER TREE)
  - TREE CANOPY FOR PRESERVATION OF LARGE EXISTING TREES WITH TRUNKS 6" IN DIAMETER - CALCULATED AT 20 SQ FT PER INCH DIAMETER

C GREEN ROOFS

- OVER AT LEAST 2" AND LESS THAN 4" OF GROWTH MEDIUM
- OVER AT LEAST 4" OF GROWTH MEDIUM

D VEGETATED WALLS

E APPROVED WATER FEATURES

F PERMEABLE PAVING

- PERMEABLE PAVING OVER AT LEAST 6" AND LESS THAN 24" OF SOIL OR GRAVEL
- PERMEABLE PAVING OVER AT LEAST 24" OF SOIL OR GRAVEL

G STRUCTURAL SOIL SYSTEMS

H BONUSES

- DROUGHT-TOLERANT OR NATIVE PLANT SPECIES
- LANDSCAPE AREAS WHERE AT LEAST 50% OF ANNUAL IRRIGATION NEEDS ARE MET THROUGH THE USE OF HARVESTED RAINWATER
- LANDSCAPING VISIBLE TO PASSERSBY FROM ADJACENT PUBLIC RIGHT OF WAY IN PUBLIC OPEN SPACES
- LANDSCAPING IN FOOD CULTIVATION

LANDSCAPE ELEMENTS**	PARCEL SIZE 11,220 SF	TOTALS FROM GF WORKSHEET	SCORE FACTOR	0.305 TOTAL
A LANDSCAPED AREAS (SELECT ONE OF THE FOLLOWING FOR EACH AREA)				
1. LANDSCAPED AREAS WITH A SOIL DEPTH OF LESS THAN 24"		0 SF	0.1	-
2. LANDSCAPED AREAS WITH A SOIL DEPTH OF 24" OR GREATER		878 SF	0.6	526.8
3. BIORETENTION FACILITIES		0 SF	1.0	-
B PLANTING (CREDIT FOR PLANTS IN LANDSCAPED AREAS FROM SECTION A)				
MULCH, GROUND COVERS, OR OTHER PLANTS LESS THAN 2' TALL AT MATURITY		878 SF	0.1	88
4. SHRUBS OR PERENNIALS 2' AT MATURITY - CALCULATED AT 12 SQ FT PER PLANT (TYPICALLY PLANTED NO CLOSER THAN 18" ON CENTER)	No. OF PLANTS 28	336	0.3	101
5. TREE CANOPY FOR "SMALL TREES" OR EQUIVALENT (CANOPY SPREAD 8' TO 15' - CALCULATED AT 75 SQ FT PER TREE)	No. OF PLANTS 2	150	0.3	45
6. TREE CANOPY FOR "SMALL-MEDIUM TREES" OR EQUIVALENT (CANOPY SPREAD 16' TO 20' - CALCULATED AT 150 SQ FT PER TREE)	No. OF PLANTS 3	450	0.3	135.0
7. TREE CANOPY FOR "MEDIUM-LARGE TREES" OR EQUIVALENT (CANOPY SPREAD 21' TO 25' - CALCULATED AT 250 SQ FT PER TREE)	No. OF PLANTS 0	0	0.4	-
8. TREE CANOPY FOR "LARGE TREES" OR EQUIVALENT (CANOPY SPREAD 26' TO 30' - CALCULATED AT 350 SQ FT PER TREE)	No. OF PLANTS 0	0	0.4	-
9. TREE CANOPY FOR PRESERVATION OF LARGE EXISTING TREES WITH TRUNKS 6" IN DIAMETER - CALCULATED AT 20 SQ FT PER INCH DIAMETER	INCH DBH 0	0	0.8	-
C GREEN ROOFS				
1. OVER AT LEAST 2" AND LESS THAN 4" OF GROWTH MEDIUM	0 SF	0.4	-	
2. OVER AT LEAST 4" OF GROWTH MEDIUM	2976 SF	0.7	2,083.2	
D VEGETATED WALLS	0 SF	0.7	-	
E APPROVED WATER FEATURES	0 SF	0.7	-	
F PERMEABLE PAVING				
1. PERMEABLE PAVING OVER AT LEAST 6" AND LESS THAN 24" OF SOIL OR GRAVEL	0 SF	0.2	-	
2. PERMEABLE PAVING OVER AT LEAST 24" OF SOIL OR GRAVEL	0 SF	0.5	-	
G STRUCTURAL SOIL SYSTEMS	0 SF	0.2	-	
H BONUSES	SUB-TOTAL OF SQ FT	5,668 SF		
1. DROUGHT-TOLERANT OR NATIVE PLANT SPECIES	2976 SF	0.1	297.6	
2. LANDSCAPE AREAS WHERE AT LEAST 50% OF ANNUAL IRRIGATION NEEDS ARE MET THROUGH THE USE OF HARVESTED RAINWATER	0 SF	0.2	-	
3. LANDSCAPING VISIBLE TO PASSERSBY FROM ADJACENT PUBLIC RIGHT OF WAY IN PUBLIC OPEN SPACES	1,478 SF	0.1	148	
4. LANDSCAPING IN FOOD CULTIVATION	0 SF	0.1	-	
	GREEN FACTOR NUMERATOR		3.424	

GREEN FACTOR WORKSHEET SEATTLE GREEN FACTOR

	PLANTING AREA	TOTAL				
		AREA 1 Entry	AREA 2 SW Alaska St	AREA 3 Third Floor	AREA 4 Roof	
A1	SQ FT				0	
A2	SQ FT	300	578		878	
A3	SQ				0	
B1	SQ FT	300	578		878	
B2	# OF PLANTS	12	16		28	
B3	# OF TREES		2		0	
B4	# OF TREES		3		0	
B5	# OF TREES				0	
B6	# OF TREES				0	
B7	# OF TREES				0	
C1	SQ FT				0	
C2	SQ FT			1248	1728	2976
D	SQ FT				0	
E	SQ FT				0	
F1	SQ FT				0	
F2	SQ FT				0	
G	SQ FT				0	
H1	SQ FT			1248	1728	2976
H2	SQ FT				0	
H3	SQ FT	300	1178		1478	
H4	SQ FT				0	

See Green Factor score sheet for category definitions  
Enter totals on the Green Factor score sheet

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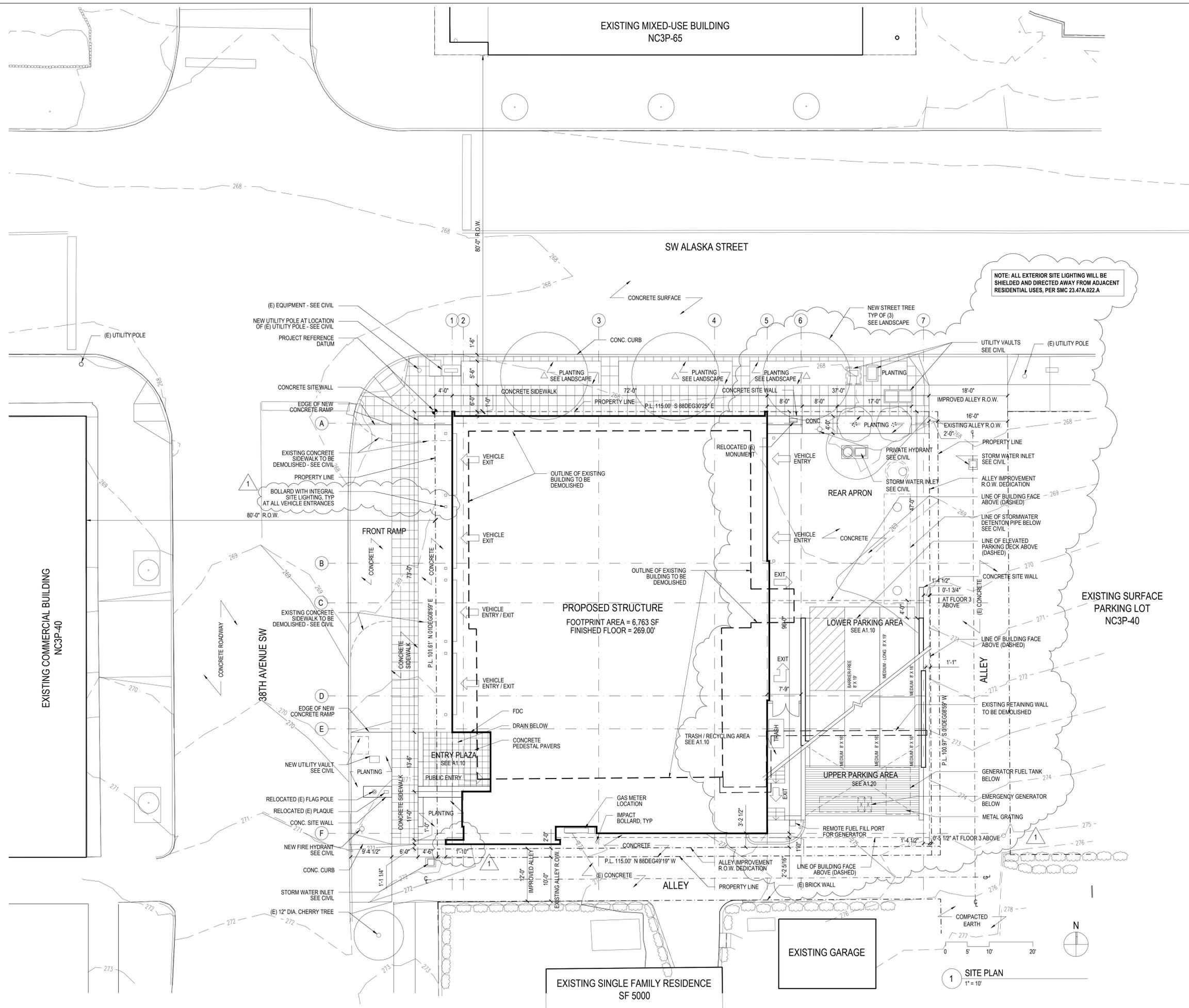
GREEN FACTOR

Scale AS NOTED

Date MARCH 24, 2014

BCJ Project Number 07408

L1.03



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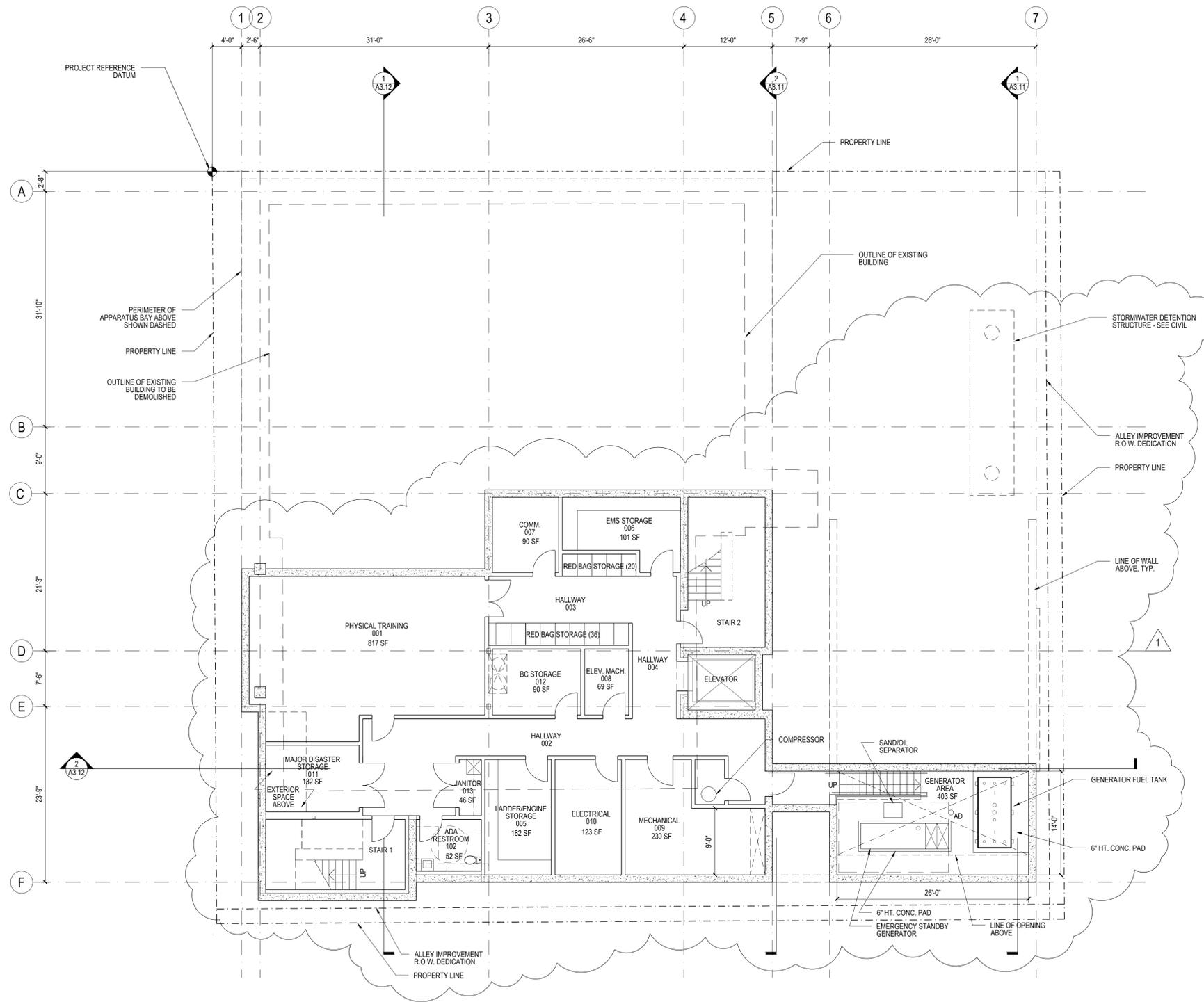
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SITE PLAN

Scale 1"=10'  
 Date MARCH 24, 2014  
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AS1.00

1 SITE PLAN  
 1" = 10'



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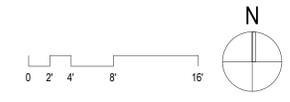
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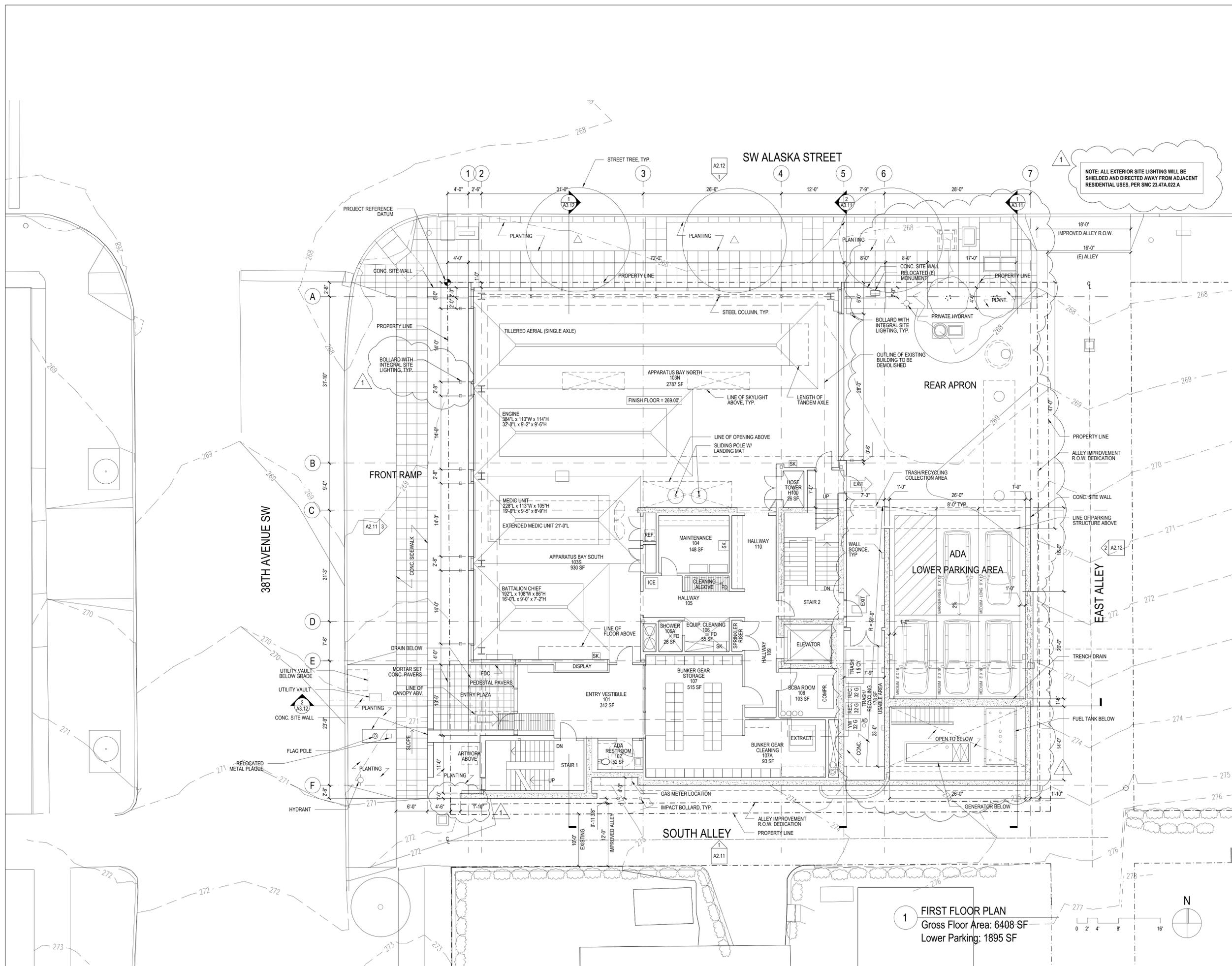
**BASEMENT PLAN**

Scale  $\frac{1}{8}'' = 1'-0''$   
 Date MARCH 24, 2014  
 BCJ Project Number 07408

**1 BASEMENT PLAN**  
 Gross Floor Area: 3194 SF  
 Generator Area: 403 SF



**A1.00**



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NOTE: ALL EXTERIOR SITE LIGHTING WILL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT RESIDENTIAL USES, PER SMC 23.47A.022.A

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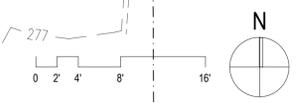
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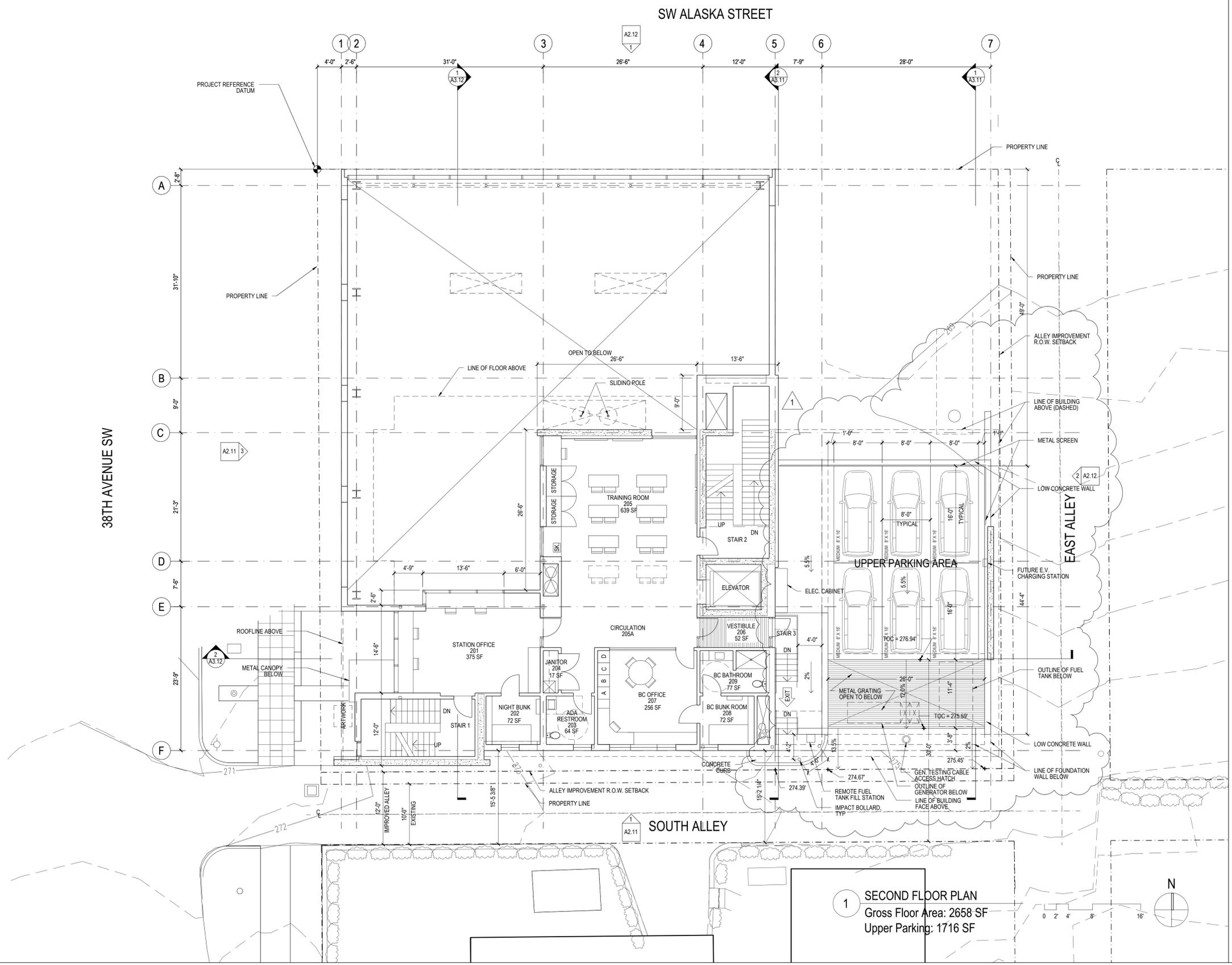
FIRST FLOOR PLAN

Scale  $\frac{1}{8}'' = 1'-0''$   
 Date MARCH 24, 2014  
 BCJ Project Number 07408

1 FIRST FLOOR PLAN  
 Gross Floor Area: 6408 SF  
 Lower Parking: 1895 SF



A1.10



1 SECOND FLOOR PLAN  
 Gross Floor Area: 2658 SF  
 Upper Parking: 1716 SF

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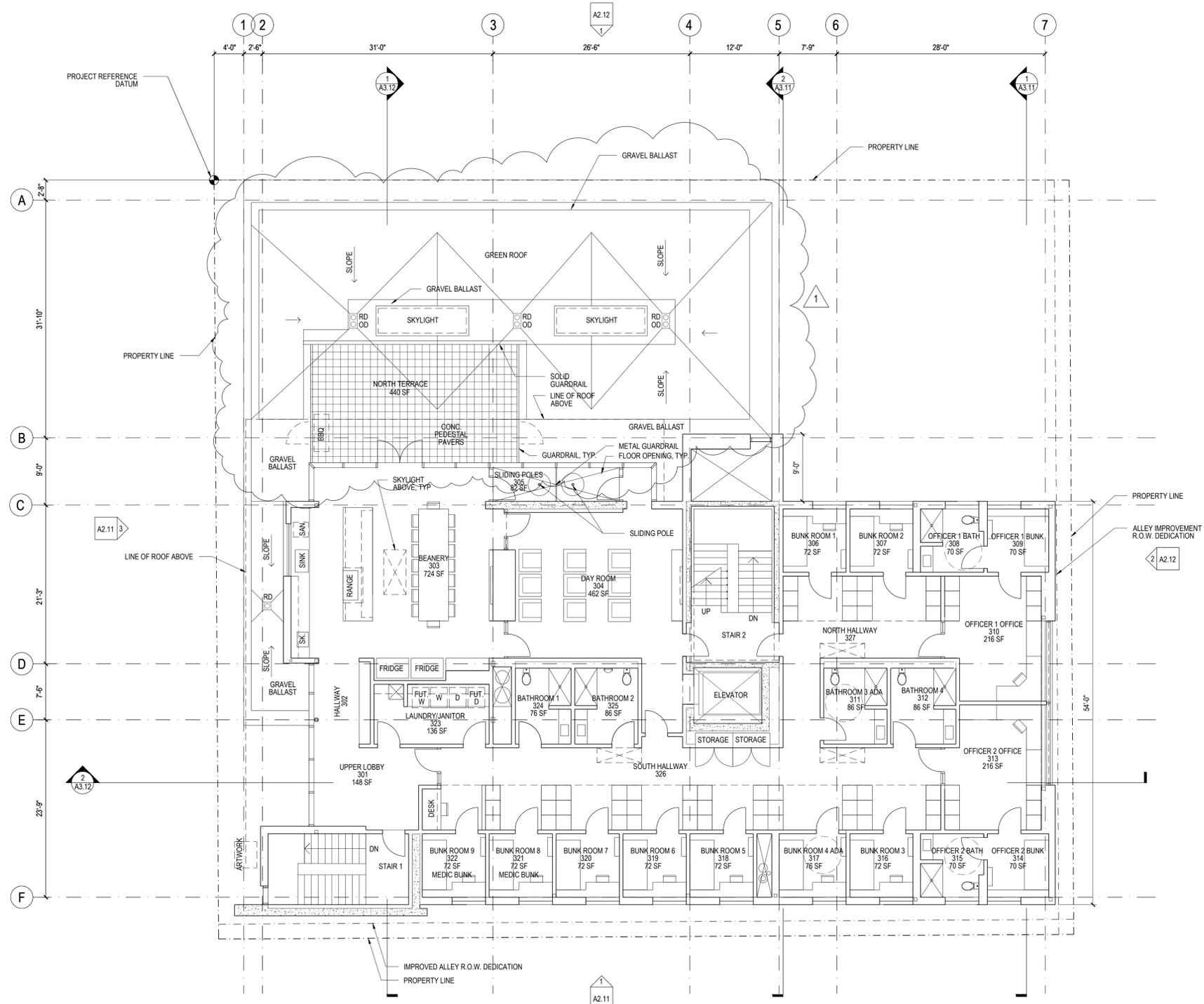
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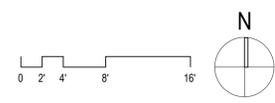
SECOND FLOOR PLAN

Scale  $\frac{1}{8}'' = 1'-0''$   
 Date MARCH 24, 2014  
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**A1.20**



1 THIRD FLOOR PLAN  
Gross Floor Area: 5621 SF



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THIRD FLOOR PLAN

Scale  $\frac{1}{8}'' = 1'-0''$   
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A1.30



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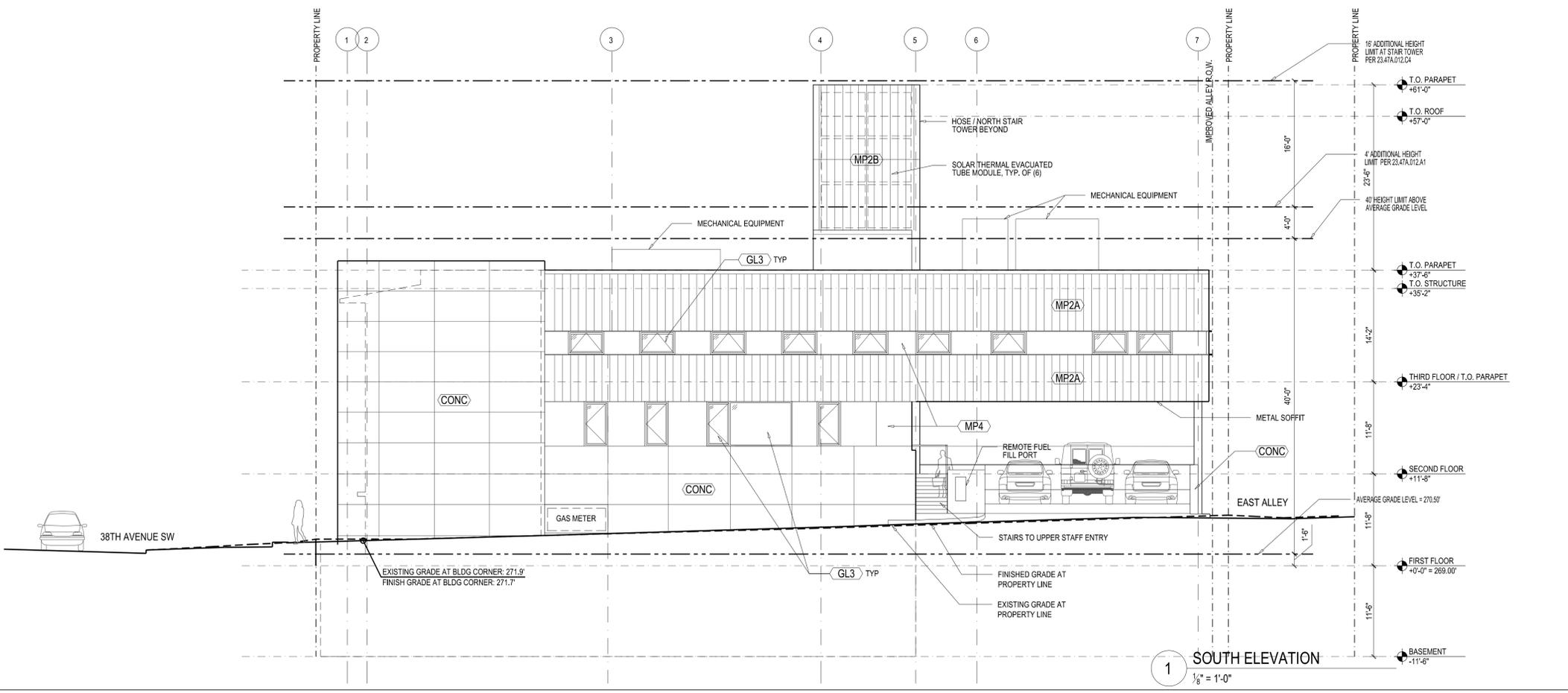
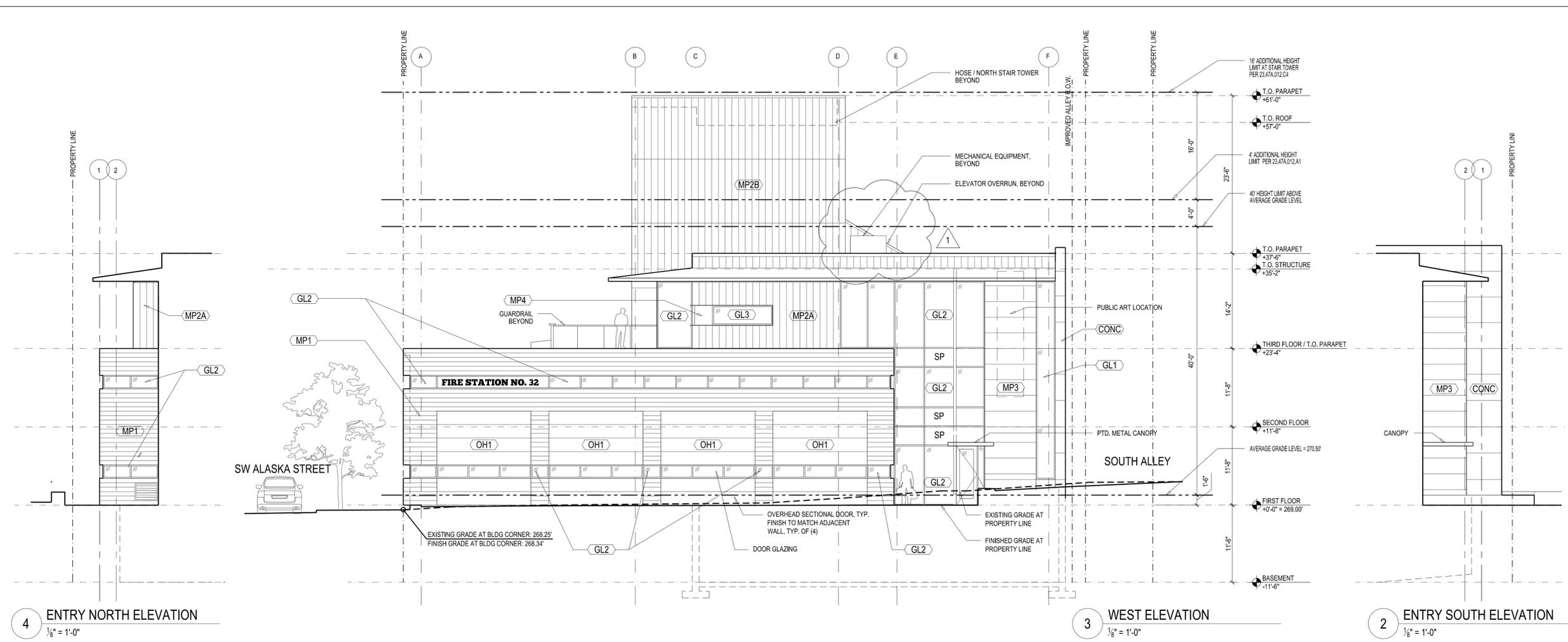
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**BUILDING ELEVATIONS**

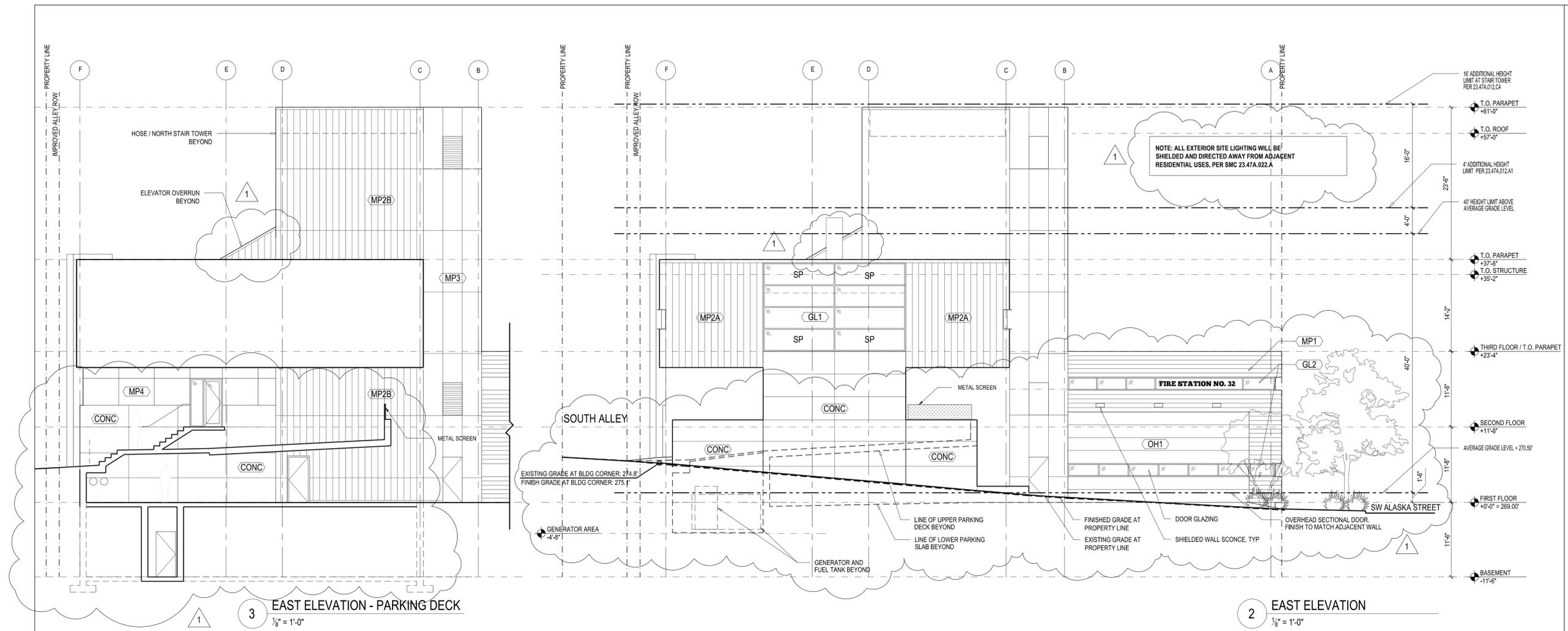
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**A2.11**



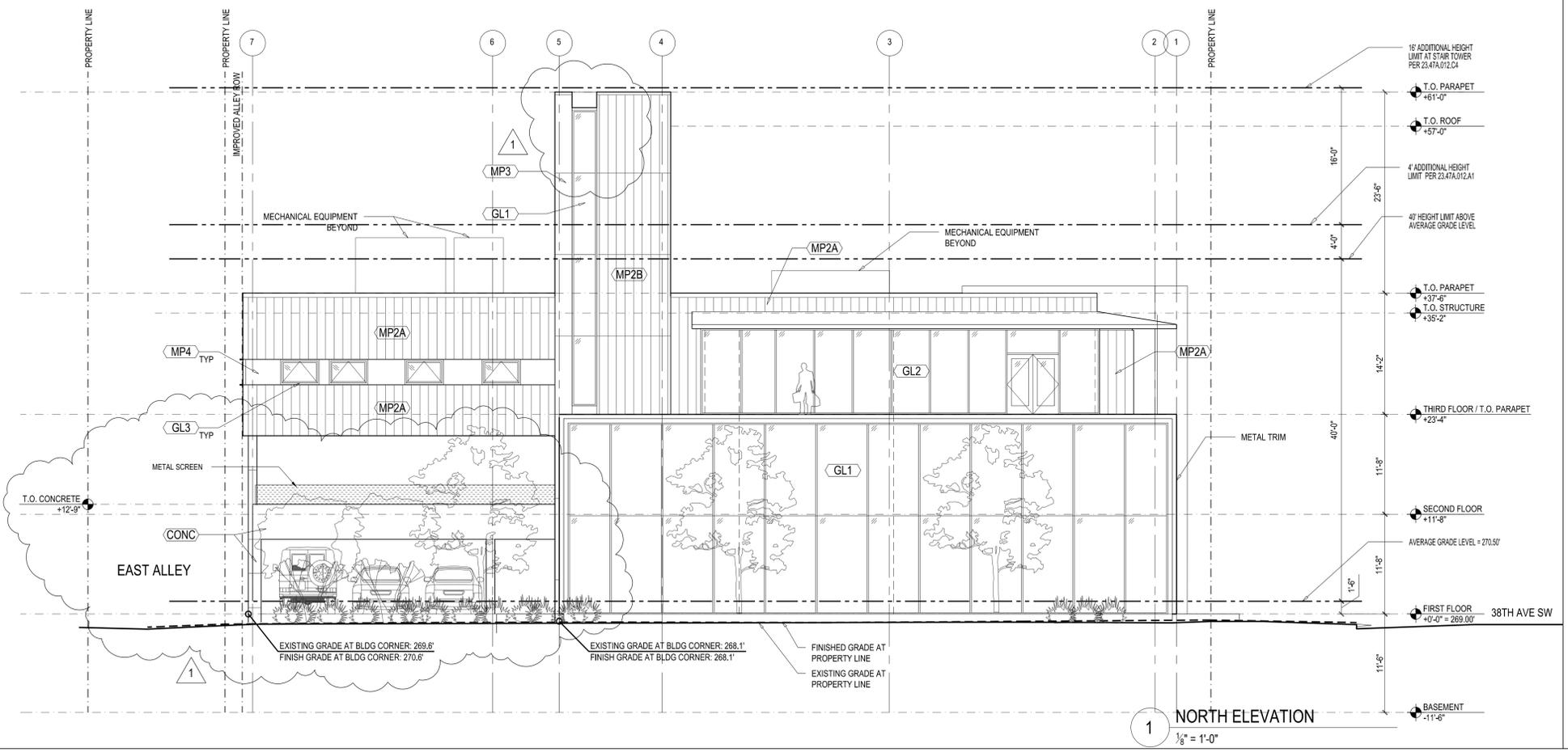
**ELEVATION KEY**

CONC	ARCHITECTURAL CONCRETE
MP1	METAL PANEL TYPE 1
MP2A	METAL PANEL TYPE 2A
MP2B	METAL PANEL TYPE 2B
MP3	METAL PANEL TYPE 3
MP4	METAL PANEL TYPE 4
GL1	ALUM. CURTAINWALL
GL2	ALUM. STOREFRONT
GL3	ALUM. WINDOW
SP	SPANDREL
OH1	OVERHEAD DOOR



3 EAST ELEVATION - PARKING DECK  
1/8" = 1'-0"

2 EAST ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

- (CONC) ARCHITECTURAL CONCRETE
- (MP1) METAL PANEL TYPE 1
- (MP2A) METAL PANEL TYPE 2A
- (MP2B) METAL PANEL TYPE 2B
- (MP3) METAL PANEL TYPE 3
- (MP4) METAL PANEL TYPE 4
- (GL1) ALUM. CURTAINWALL
- (GL2) ALUM. STOREFRONT
- (GL3) ALUM. WINDOW
- SP SPANDREL
- (OH1) OVERHEAD DOOR

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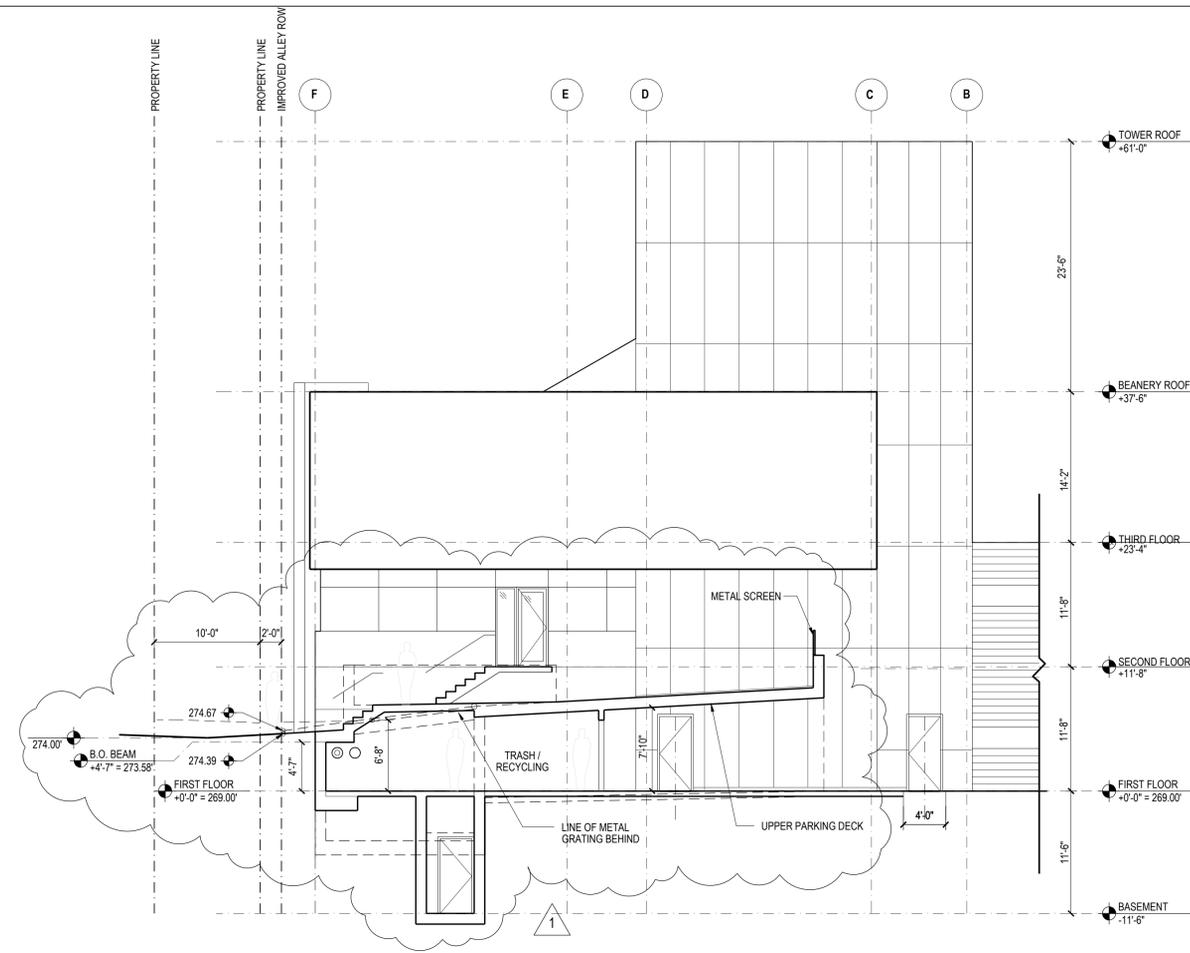
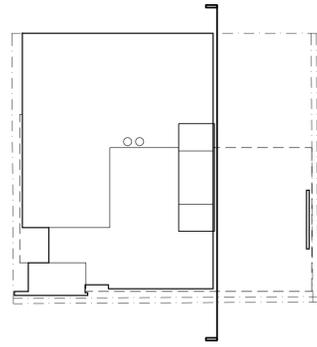
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**BUILDING ELEVATIONS**

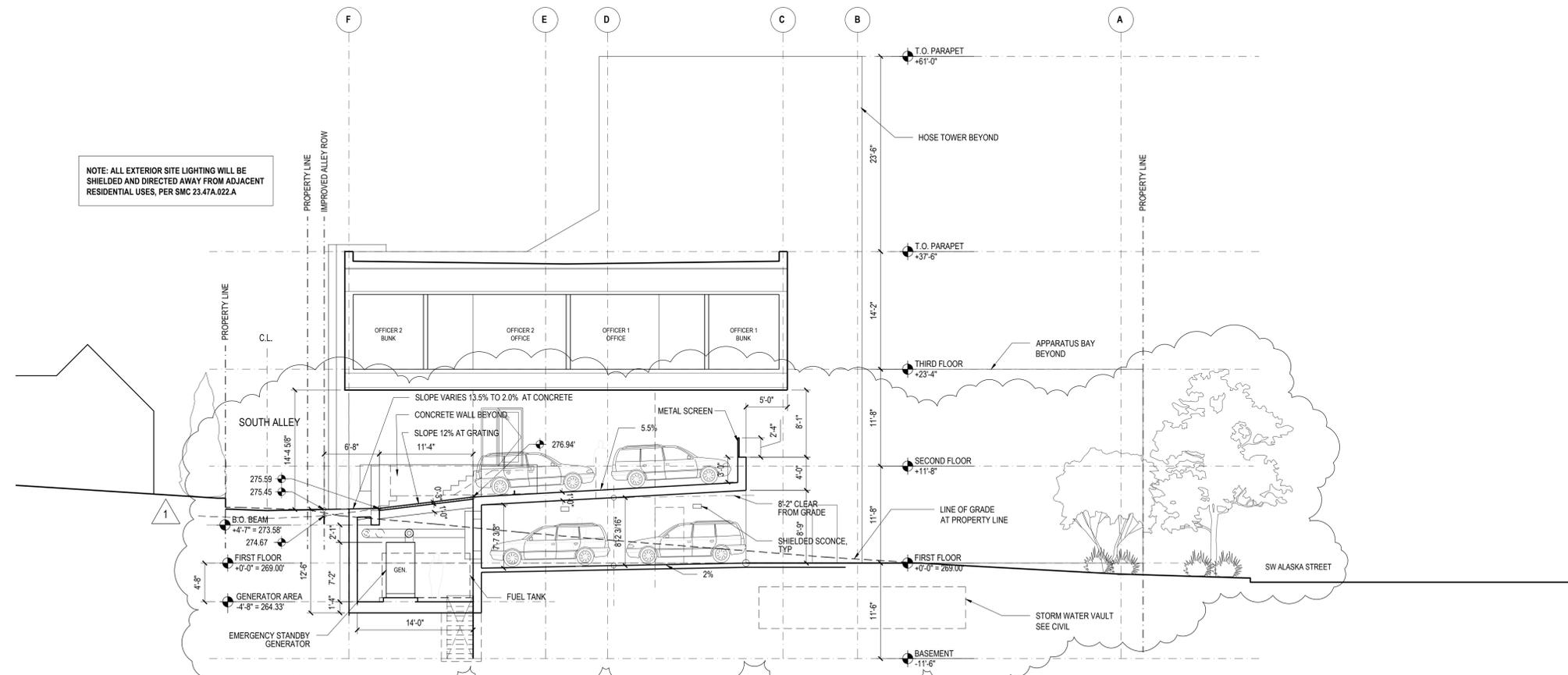
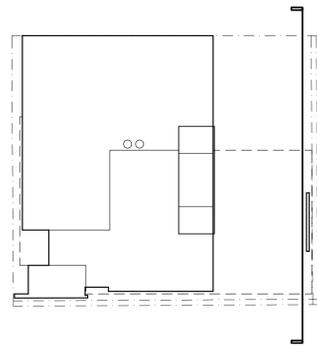
Scale 1/8" = 1'-0"  
Date MARCH 24, 2014  
BCJ Project Number 07408

**A2.12**



2 SECTION AT PARKING  
1/8" = 1'-0"

NOTE: ALL EXTERIOR SITE LIGHTING WILL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT RESIDENTIAL USES, PER SMC 23.47A.022.A



1 SECTION AT PARKING  
1/8" = 1'-0"

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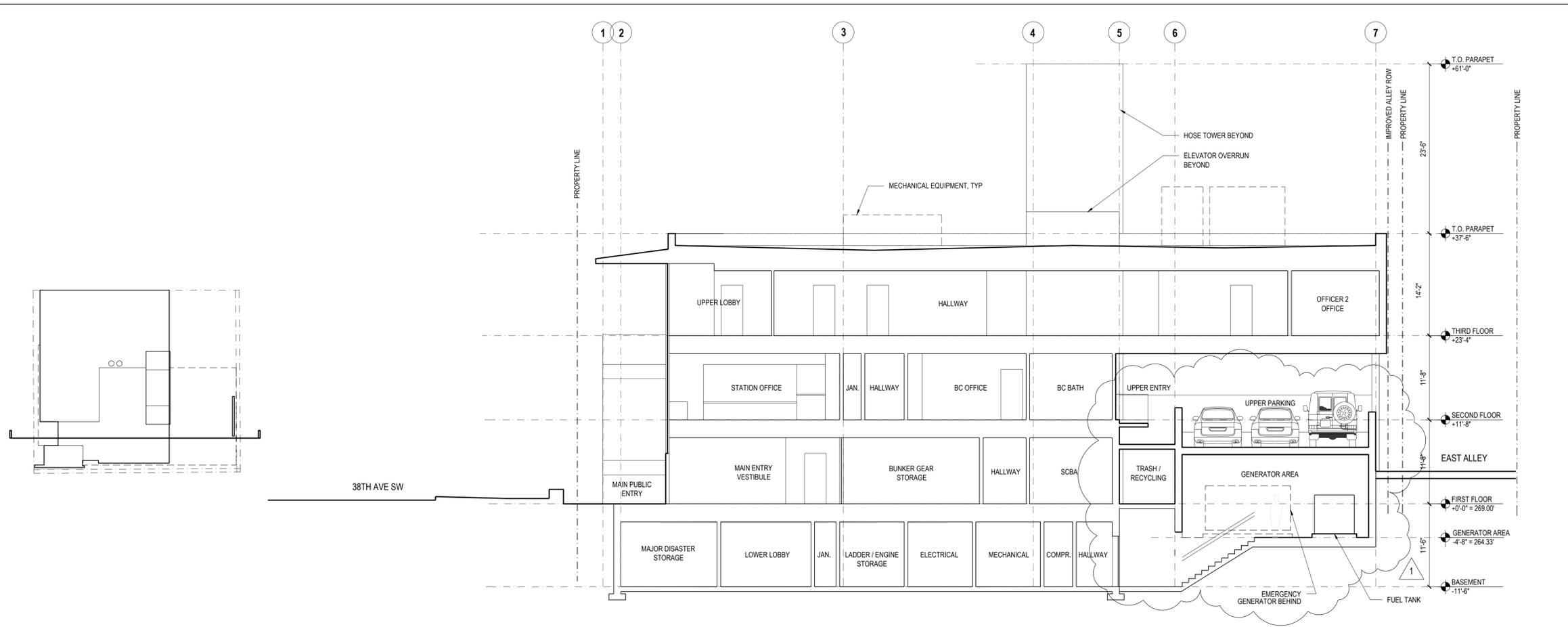
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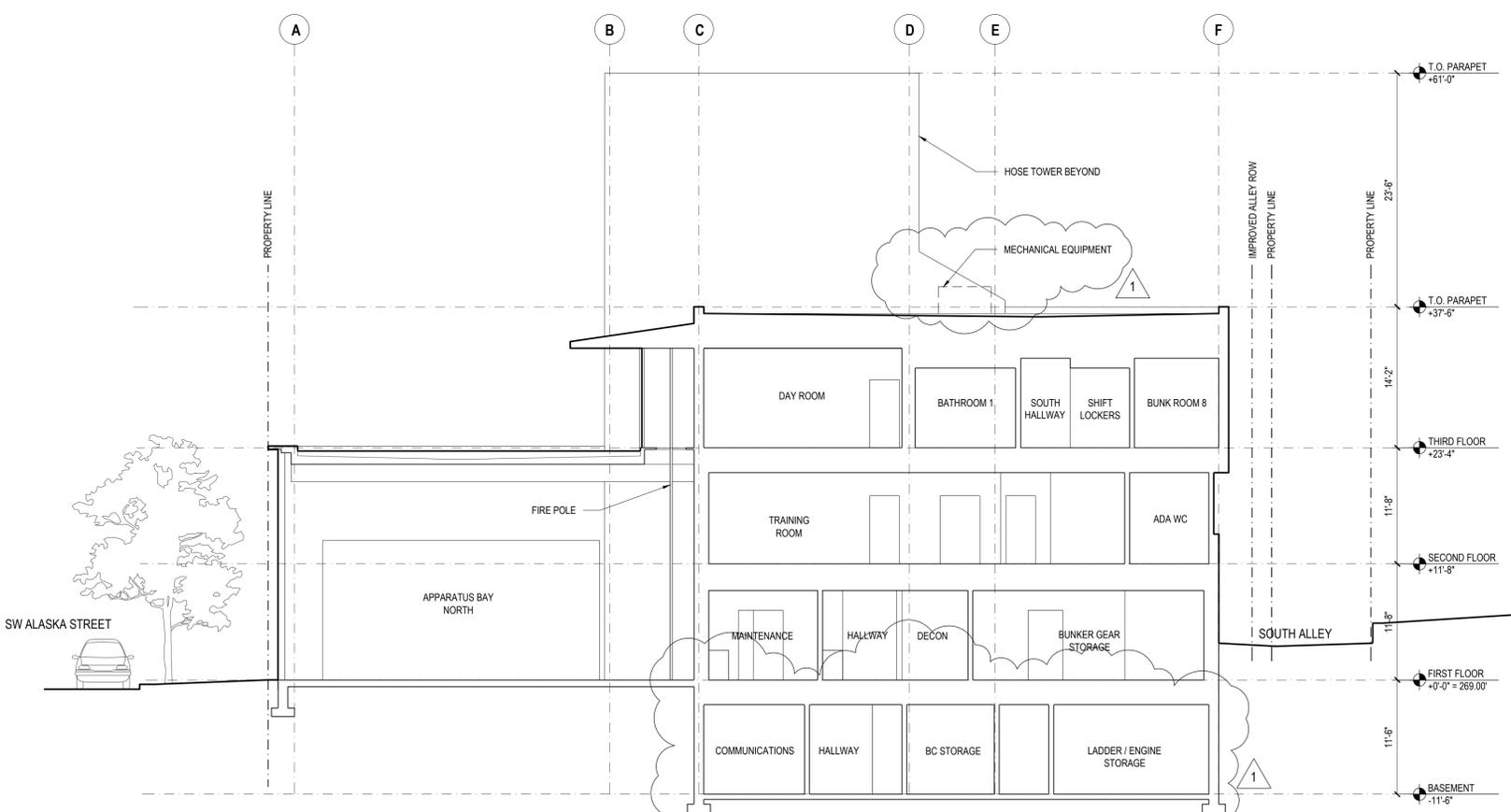
BUILDING SECTIONS

Scale	1/8" = 1'-0"
Date	MARCH 7, 2014
BCJ Project Number	07408

A3.11



2 SECTION AT MAIN ENTRY  
 $\frac{1}{8}'' = 1'-0''$



1 SECTION AT DAY ROOM  
 $\frac{1}{8}'' = 1'-0''$

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BUILDING SECTIONS

Scale	$\frac{1}{8}'' = 1'-0''$
Date	MARCH 7, 2014
BCJ Project Number	07408

LAND USE CODE SUMMARY

1

SUBJECT	REQUIREMENTS <i>Design Response/Interpretation</i>	SEATTLE MUNICIPAL CODE REFERENCE
Zoning	NC3P-40 – Neighborhood Commercial West Seattle Junction Hub Urban Village	DPD Map Books
Environmentally Critical Areas	None	DPD Maps
SEPA Review	<i>Required. SEPA checklist included in application.</i>	25.05.800A
Permitted Uses	Permitted outright in NC zone.	23.47A.004 & Table A
Street Level Uses	Along designated principal pedestrian streets, 80% of the street-facing facade to have one of listed uses.	23.47A.005.D1
	<i>SW Alaska Street is a principal pedestrian street.</i>	23.47A.005.D2
	<i>Fire Station use not listed. Code departure requested.</i>	23.47A.005.D1
Street-Level Development Standards	Blank Segments of street-facing facade max. 20ft. length. Total of all blank facade segments = max. 40% of facade.	23.47A.008.A2
	<i>Blank facade along SW Alaska Street &lt;40%. See A0.01 for calculations.</i>	
	<i>Blank facade along 38<sup>th</sup> Avenue SW &lt; 40%. See A0.01 for calculations.</i>	
	Street-facing facades to be within 10ft. of street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.	23.47A.008.A3
	<i>Plaza provided at public entry on 38<sup>th</sup> Avenue SW. See A1.00</i>	
	Open space at Rear Apron along SW Alaska street set-back greater than 10 ft. from street lot line. See A1.00 and A1.10. <i>Type I departure decision requested.</i>	23.47A.008.F
	60% of the street-facing facade shall be transparent.	23.47A.008.B2
	<i>Transparency along SW Alaska Street &gt; 60%. See A0.01 for calculations.</i>	
	<i>Transparency along 38<sup>th</sup> Avenue SW &lt; 60%. See A0.01 for calculations. Type I departure decision requested.</i>	23.47A.008.F
	Nonresidential uses to extend average depth of 30 ft. and minimum depth of 15 ft. from street-level street-facing facade.	23.47A.008.B3
<i>Average depth of non-residential uses &gt; 30ft. Minimum depth of non-residential uses &gt; 15ft. See A1.10.</i>		
Street-level nonresidential uses to have a floor-to-floor height of 13 ft. min.	23.47A.008.B3.b	
<i>Average floor-to-floor height at street level is 16.5 ft. Type I departure decision requested since entire street level use is not 13 ft. floor to floor. Apparatus Bay floor to floor height is 23 ft. Station entry along 38th Avenue has floor to floor height of 11'-8". Parking area has floor to floor height of 9'-9". Floor area with floor-to-floor greater than 13 ft. is 51%.</i>		
In pedestrian-designated zones, min. 80% of width of street-level principal street-facing facade to be occupied by use listed in 23.47A.005.D1.	23.47A.008.C	
<i>Fire Station not specifically listed. Type I departure decision requested.</i>	23.47A.008.F	

Structure Height	Base height limit is 40 ft.	23.47A.012.A
	Structure may exceed height limit by 4 ft. provided floor-to-floor height of 13 ft. provided for street-level non-residential uses. <i>See sheet A0.01 for Average Grade Elevation calculation.</i>	23.47A.012.A1
	Open railings, planters, skylights, clerestories, parapets & firewalls may extend 4ft. above height limit.	23.47A.012.C2
	Solar collectors may extend 4 ft. above height limit with unlimited rooftop coverage.	23.47A.012.C3
Structure Height – Rooftop Features	Rooftop features able to extend up to 15 ft. above height limit if combined total coverage is max. 20% or roof area, 25% if includes stair/elevator penthouses or screened mech. equip: • Solar collectors • Mechanical equipment <i>Roof coverage for stair penthouse and mechanical equipment &lt; 25%. See A0.01A for calculations.</i>	23.47A.012.C4
	Stair & elevator penthouses may extend 16 ft. above height limit. <i>Rooftop stair enclosure &lt; 16ft above height limit - see elevation 2/A2.12</i>	
	Floor Area Ratio	23.47A.013 Table A
	Max. FAR = 3 for single-purpose structure.	23.47A.013.A3
Setback Requirements	Above-grade parking covered by structure included in gross floor area calculations. <i>Proposed FAR &lt; 3. Refer to A0.01 for FAR calculations</i>	
	Setback requirements for lots abutting or across the alley from residential zones: <i>Setbacks required in sub-sections B1, B2 and B5 do not apply since the south alley separates the fire station lot from the residential zone and sub-section B3 does not apply since the fire station is a non-residential use - per DPD Pre-submittal conference on 3/27/2013.</i>	23.47A.014.B
Landscaping and Screening Standards	Green Factor score of .30 or greater required. <i>Green Factor score &gt; .30 achieved - see Landscape sheet L1.03.</i>	23.47A.016.A
	Street trees required. <i>Existing street trees will be removed and replaced with species appropriate for use under Overhead Power Lines per SDOT 30% Design Guidance meeting, 8/27/2013. See Landscape drawings.</i>	23.47A.016.B
	Surface Parking Areas: Screening for visible parking areas not required per DPD Pre-submittal conference, 3/27/2013.	23.47A.016.D1
	Other Uses or Circumstances: • Parking garage that is 8 ft. or more above grade – 3½ ft. screening required along the perimeter of each floor of parking. <i>Screening provided at upper parking - see elevations 1&amp;2 / A2.12</i>	23.47A.016.D3 Table D
Screening and Landscape Requirements for Specific Uses		
Noise Standards	Report from Acoustical consultant required for major noise generators describing measures taken to meet noise standards for area. <i>Acoustical report will be provided in separate submittal.</i>	23.47A.018

Required Parking and Loading	<i>Off-street Parking not required per DPD Pre-submittal conference on 3/27/2013.</i>	23.47A.030
Parking Location and Access	Location of parking. The following rules apply in NC zones, except as provided in subsection 23.47A.032.D:  Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use. This requirement does not apply to access to parking meeting the standards of subsection 23.47A.032.A  For police and fire stations, Director determines appropriate access to parking based on needs of emergency and other vehicles and configuration on site.  <i>Parking not separated from street-level street facing facade along SW Alaska Street. Type I departure decision requested.</i>	23.47A.032.B1 23.47A.032.B1.b 23.47A.032.D4 23.47A.032.D4
	Alley Improvement Requirements	23.53.030.D
	Min. right-of-way width for existing alleys is 20 ft. in NC zone, no minimum in SF-5000 zone.  Existing alleys Which do Not Meet Minimum Width: When used to access parking spaces, a dedication equal to half the difference between the current alley right-of-way and the minimum right-of-way is required.  Director may modify or waive requirements listed per allowed exceptions.  <i>A dedication of 2 feet at the east alley required to meet 20 ft. alley ROW width requirement. Dedication of 5 feet required at south alley to meet 20ft. ROW width. Street Improvement Exception to reduce dedication at south alley from 5ft. to 2ft. approved by City of Seattle on 10/8/2013. Alley dedication of 2ft. at both alleys passed by City Council 6/30/2014.</i>	23.53.030.F 23.53.030.G
Required Parking	Urban Village - no minimum parking requirement per DPD Pre-submittal conference on 3/27/2013.	23.54.015 Table A, Section II.J
Bicycle Parking	No minimum bicycle parking requirement for uses not shown in Table E	23.54.015 Table E
Parking Quantity Exceptions	<i>Tandem parking permitted per DPD Pre-submittal conference on 3/27/2013</i>	23.54.020
Parking Space Standards	<i>Parking spaces exempt from parking space dimension requirements since spaces provided in excess of required quantity, per DPD Pre-submittal conference on 3/27/2013.</i>	23.54.030.A&B
Proposed Parking	<i>(1) Parking spaces provided: (1) "barrier-free" space at 8'x19' with 8 ft. aisle (10) "medium vehicle" spaces at 8'x16'</i>	
	Solid Waste and Recyclable Materials Storage and Access	23.54.040.A3
Min. storage space area = 175 sf for gross floor area between 15,000-50,000sf. <i>175sf of usable storage area provided &gt; 175 sf. See A1.10</i>	23.54.040.D1	
	Minimum horizontal dimension (width and depth) for required storage is 7 ft. <i>Width and depth of storage &gt; 7 ft. See A1.10.</i>	
	Access for service providers for 2 cubic yard containers or smaller: Manually pulled containers placed no more than 50ft from collection location.  <i>Largest container size is smaller than 2 cu.yd.. Furthest point of storage area less than 50 ft. from collection area, therefore all containers within storage area will be placed less than 50 ft. from collection area. See A1.10 for container size and distance to collection location.</i>	23.54.040.F1

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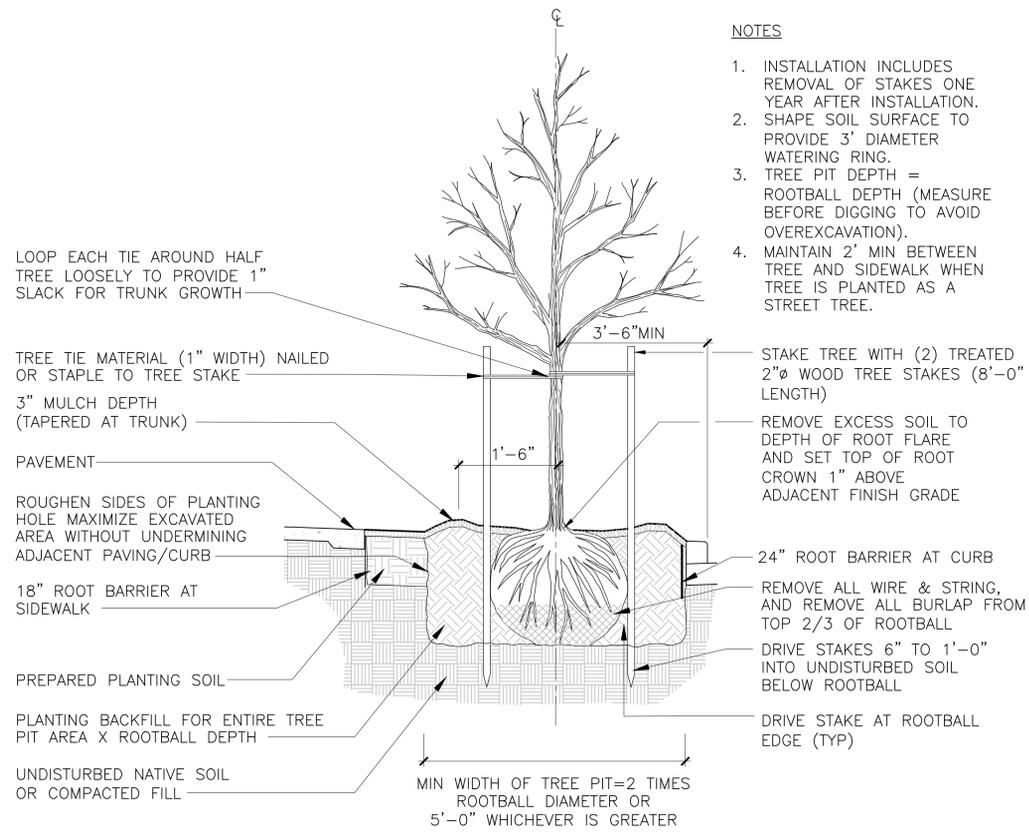
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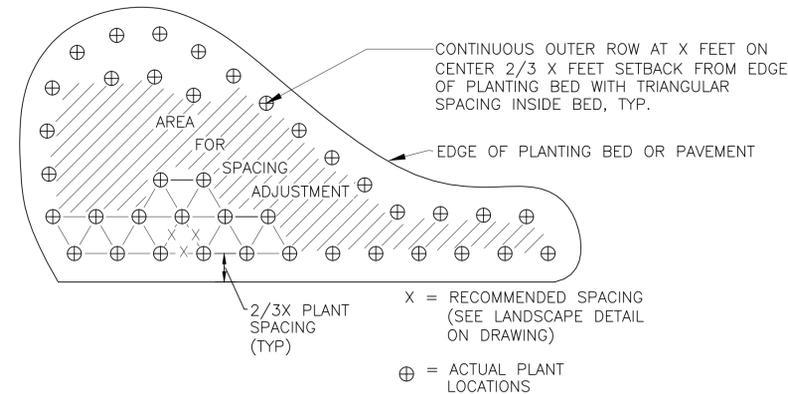
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1  
**A0.02**



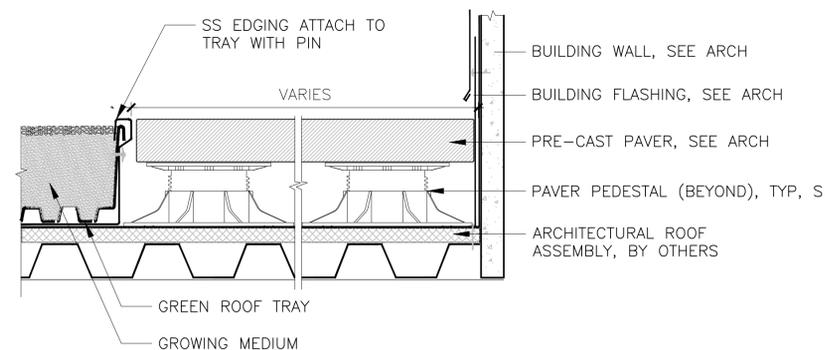
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SCALE: 1" = 1'-0"



**04 PLANT SPACING DETAIL**

SCALE: 1" = 1'-0"

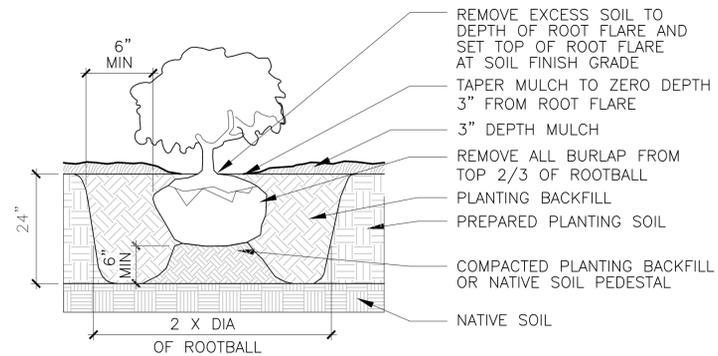


**06 GREEN ROOF TRAY UNIT PAVERS**

SCALE: 3/4" = 1'-0"

**NOTES**

1. INSTALLATION INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION.
2. SHAPE SOIL SURFACE TO PROVIDE 3' DIAMETER WATERING RING.
3. TREE PIT DEPTH = ROOTBALL DEPTH (MEASURE BEFORE DIGGING TO AVOID OVEREXCAVATION).
4. MAINTAIN 2' MIN BETWEEN TREE AND SIDEWALK WHEN TREE IS PLANTED AS A STREET TREE.

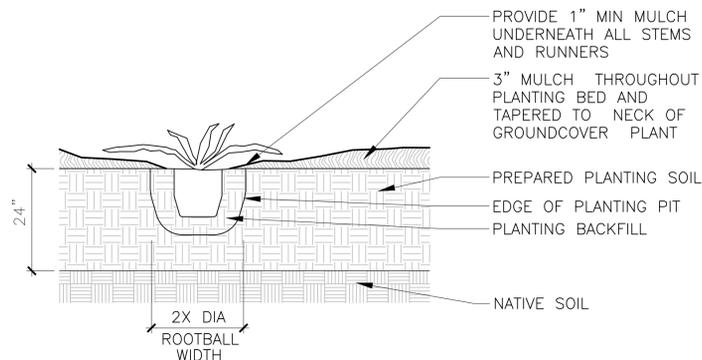


**NOTES:**

1. PROVIDE PEDESTAL TO SUPPORT WEIGHT OF SHRUB IF PLANT IS BALLED AND BURLAPPED OR GREATER THAN 5 GALLON CONTAINER SIZE.
2. ENSURE SHRUB ROOT FLARE DOES NOT SETTLE BELOW TOP OF SOIL.

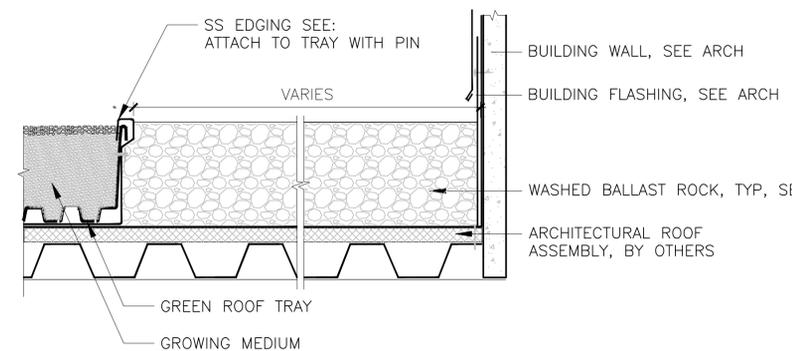
**02 SHRUB PLANTING DETAIL**

SCALE: 1" = 1'-0"



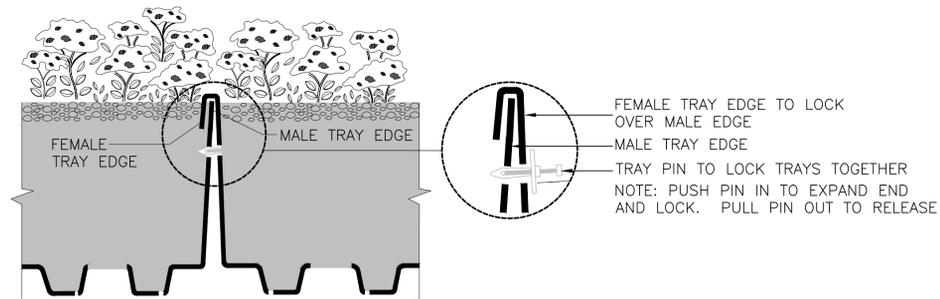
**03 GROUND COVER PLANTING DETAIL**

SCALE: 1" = 1'-0"



**05 GREEN ROOF BALLAST STRIP**

SCALE: 1/4" REF = 1'-0"



**07 GREEN ROOF TRAY CONNECTION**

SCALE: 3/4" = 1'-0"

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STATE OF WASHINGTON LICENSED LANDSCAPE ARCHITECT		
BARBARA ALSTON SWIFT LICENSE NO. 369 EXPIRES ON 5-29-2016		
Revisions	Description	Date
1	MUP RESUBMITTAL 1	10-23-2014

**Bohlin Cywinski Jackson**  
Architecture Planning Interior Design  
Wilkes-Barre Pittsburgh Philadelphia Seattle San Francisco  
1932 First Avenue  
Suite 918  
Seattle, WA 98101  
v. 206.256.0862 f. 206.256.0864

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CITY OF SEATTLE  
**Fire Station 32**  
4700 38TH AVENUE SW  
SEATTLE WA 98126  
DPD# 3014980

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PLANTING DETAILS

Scale	AS NOTED
Date	MARCH 24, 2014
BCJ Project Number	07408

**L1.04**