

Ordinance No. 122994

Council Bill No. 116486

The City of Seattle - Legislative Department

Council Bill/Ordinance sponsored by: *Samy Casanova*
Councilmember

AN ORDINANCE relating to land use and zoning; amending Sections 23.41.010 and 23.41.012 of the Seattle Municipal Code, approving and adopting Neighborhood Design Guidelines for the Upper Queen Anne and Uptown neighborhoods and providing for departures from development standards in the Uptown Urban Center and in Upper Queen Anne Hill Residential Urban Village and the Neighborhood Commercial zones within the Upper Queen Anne neighborhood.

Committee Action:

MOVE TO VOTE 2-0 SC, TR 5/22/09
ADOPT 2-0 SC, TR 5/22/09

6-1-09 Passed 8-0 (Excused: McIver)

No. _____

Date Introduced:	<u>3/30/09</u>	
Date 1st Referred:	To: (committee)	<u>Planning, Land Use & Neighborhoods (PLUNC)</u>
Date Re - Referred:	To: (committee)	
Date Re - Referred:	To: (committee)	
Date of Final Passage:	Full Council Vote: <u>8-0</u>	
Date Presented to Mayor:	Date Approved: <u>6-4-09</u>	
Date Returned to City Clerk:	Date Published:	T.O. _____ F.T. <input checked="" type="checkbox"/>
Date Vetoed by Mayor:	Date Veto Published:	

Planning, Land Use & Neighborhoods (PLUNC)

This file is complete and ready for presentation to Full Council. Committee: _____ (initial/date)

Law Department

ORDINANCE _____

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2 AN ORDINANCE relating to land use and zoning; amending Sections 23.41.010 and
3 23.41.012 of the Seattle Municipal Code, approving and adopting Neighborhood
4 Design Guidelines for the Upper Queen Anne and Uptown neighborhoods and
5 providing for departures from development standards in the Uptown Urban Center
and in Upper Queen Anne Hill Residential Urban Village and the Neighborhood
Commercial zones within the Upper Queen Anne neighborhood.

6 WHEREAS, the City's Design Review Program was approved for implementation in 1993,
7 at which time it was contemplated that a neighborhood could develop design
8 guidelines specific to a neighborhood's individual character, augmenting the City's
Design Guidelines for Multifamily and Commercial Buildings; and

9 WHEREAS, neighborhood-specific design guidelines have been developed for the Upper Queen
10 Anne and Uptown neighborhoods to carry out specific design goals identified by the
neighborhoods; NOW, THEREFORE,

11 **BE IT ORDAINED BY THE CITY OF SEATTLE AS FOLLOWS:**

12 Section 1. Section 23.41.010 of the Seattle Municipal Code, which Section was last
13 amended by Ordinance 122443, is amended as follows:

14 **23.41.010 Design Review Guidelines((~~r~~))**

15 A. The "Guidelines for Multifamily and Commercial Buildings, 1998 (Amended
16 2006)" and neighborhood design guidelines approved by the City Council and identified in
17 subsection B of (~~this section~~) Section 23.41.010, provide the basis for Design Review
18 Board recommendations and City design review decisions, except in Downtown, where the
19 "Guidelines for Downtown Development, 1999" apply. Neighborhood design guidelines are
20 intended to augment and make more specific the "Guidelines for Multifamily and
21 Commercial Buildings, 1998 (Amended 2006)" and the "Guidelines for Downtown
22 Development, 1999." To the extent there are conflicts between neighborhood design
23 guidelines and the "Guidelines for Multifamily and Commercial Buildings, 1998 (Amended
24 2006)" or "Guidelines for Downtown Development, 1999", the neighborhood design
25 guidelines (~~shall~~) prevail.

26 B. The following Neighborhood design guidelines are approved:
27
28



1. "University Community Design Guidelines, 2000;"
2. "Pike/Pine Urban Center Village Design Guidelines, 2000;"
3. "Roosevelt Urban Village Design Guidelines, 2000;"
4. "Ballard Municipal Center Master Plan Area Design Guidelines, 2000;"
5. "West Seattle Junction Urban Village Design Guidelines, 2001;"
6. "Green Lake Neighborhood Design Guidelines, 2001;"
7. "Admiral Residential Urban Village Design Guidelines, 2002;"
8. "South Lake Union Neighborhood Design Guidelines, 2005;"
9. "Northgate Urban Center and Overlay District Design Guidelines, 2003;"
10. Belltown Urban Center Village Design Guidelines, 2004;
11. Wallingford Neighborhood Design Guidelines, 2005;
12. Capitol Hill Neighborhood Design Guidelines, 2005;
13. Greenwood/Phinney Neighborhood Design Guidelines, 2005;
14. Othello Neighborhood Design Guidelines, 2005;
15. North Beacon Hill Design Guidelines, 2006;
16. North District/Lake City Guidelines, 2006; ~~((and))~~
17. Morgan Junction Neighborhood Design Guidelines, 2007~~((-))~~;
18. Upper Queen Anne Neighborhood Design Guidelines, 2009; and
19. Uptown Neighborhood Design Guidelines, 2009.

Section 2. Subsection B of Section 23.41.012 of the Seattle Municipal Code, which Section was last amended by Ordinance 122311, is amended as follows:

23.41.012 Development Standard Departures

* * *

B. Departures may be granted from any Land Use Code standard or requirement, except for the following:

1. Procedures;



1 2. Permitted, prohibited or conditional use provisions, except that departures may
2 be granted from development standards for required Downtown street level uses;

3 3. Residential density limits;

4 4. In Downtown zones, provisions for exceeding the base FAR or achieving
5 bonus development as provided in Chapter 23.49, Downtown Zoning;

6 5. In Downtown zones, the minimum size for Planned Community Developments
7 as provided in Section 23.49.036;

8 6. In Downtown zones, the average floor area limit for stories in residential use in
9 Chart 23.49.058.D.1;

10 7. In Downtown zones, the provisions for combined lot developments as
11 provided in Section 23.49.041;

12 8. In Downtown Mixed Commercial zones, tower spacing requirements as
13 provided in 23.49.058.E;

14 9. Downtown view corridor requirements, provided that departures may be
15 granted to allow open railings on upper level roof decks or rooftop open space to project into the
16 required view corridor, provided such railings are determined to have a minimal impact on views
17 and meet the requirements of the Building Code;

18 10. Floor Area Ratios;

19 11. Maximum size of use;

20 12. Structure height, except that:

21 a. Within the Roosevelt Commercial Core building height departures up to
22 an additional (~~three (3)~~)3(3) feet may be granted for properties zoned NC3-65', (~~Exhibit~~
23 ~~23.41.012 A Roosevelt Commercial Core~~) Map A for 23.41.012 Roosevelt Commercial Core;

24 b. Within the Ballard Municipal Center Master Plan area building height
25 departures may be granted for properties zoned NC3-65', (~~Exhibit 23.41.012 B Ballard~~
26 ~~Municipal Center Master Plan Area~~) Map B for 23.41.012 Ballard Municipal Center Master



1 Plan Area. The additional height may not exceed ~~((nine-))9((+))~~ feet, and may be granted only
2 for townhouses that front a mid-block pedestrian connection or a park identified in the Ballard
3 Municipal Center Master Plan;

4 c. In Downtown zones building height departures may be granted for
5 minor communication utilities as set forth in Section 23.57.013.B;

6 d. Within the Uptown Urban Center building height departures up to 3 feet
7 of additional height may be granted if the top floor of the structure is set back at least 6 feet in
8 addition to all required building setbacks.

9 e. Within the Upper Queen Anne Hill Residential Urban Village and
10 Neighborhood Commercial zones within the Upper Queen Anne neighborhood, Map C for
11 23.41.012 Upper Queen Anne Commercial Areas, building height departures up to 3 feet of
12 additional height may be granted if the top floor of the structure is set back at least 6 feet in
13 addition to all required building setbacks;

14 13. Quantity of parking required, maximum parking limit in Downtown zones,
15 and maximum number of drive-in lanes, except that within the Ballard Municipal Center Master
16 Plan area required parking for ground level retail uses that abut established mid-block pedestrian
17 connections through private property as identified in the "Ballard Municipal Center Master Plan
18 Design Guidelines, 2000" may be reduced, but shall not be less than the required parking for
19 Pedestrian-designated areas shown in Chart D for Section 23.54.015 ~~((Chart D))~~;

20 14. Provisions of the Shoreline District, Chapter 23.60;

21 15. Standards for storage of solid-waste containers;

22 16. The quantity of open space required for major office projects in Downtown
23 zones as provided in Section 23.49.016.B;

24 17. Noise and odor standards;

25 18. Standards for the location of access to parking in Downtown zones;



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19. Provisions of Chapter 23.52, Transportation Concurrency Project Review

System;

20. Provisions of Chapter 23.53, Requirements for Streets, Alleys and Easements,
except that departures may be granted from the access easement standards in Section 23.53.025
and the provisions for structural building overhangs in Section 23.53.035;

21. Definitions; and

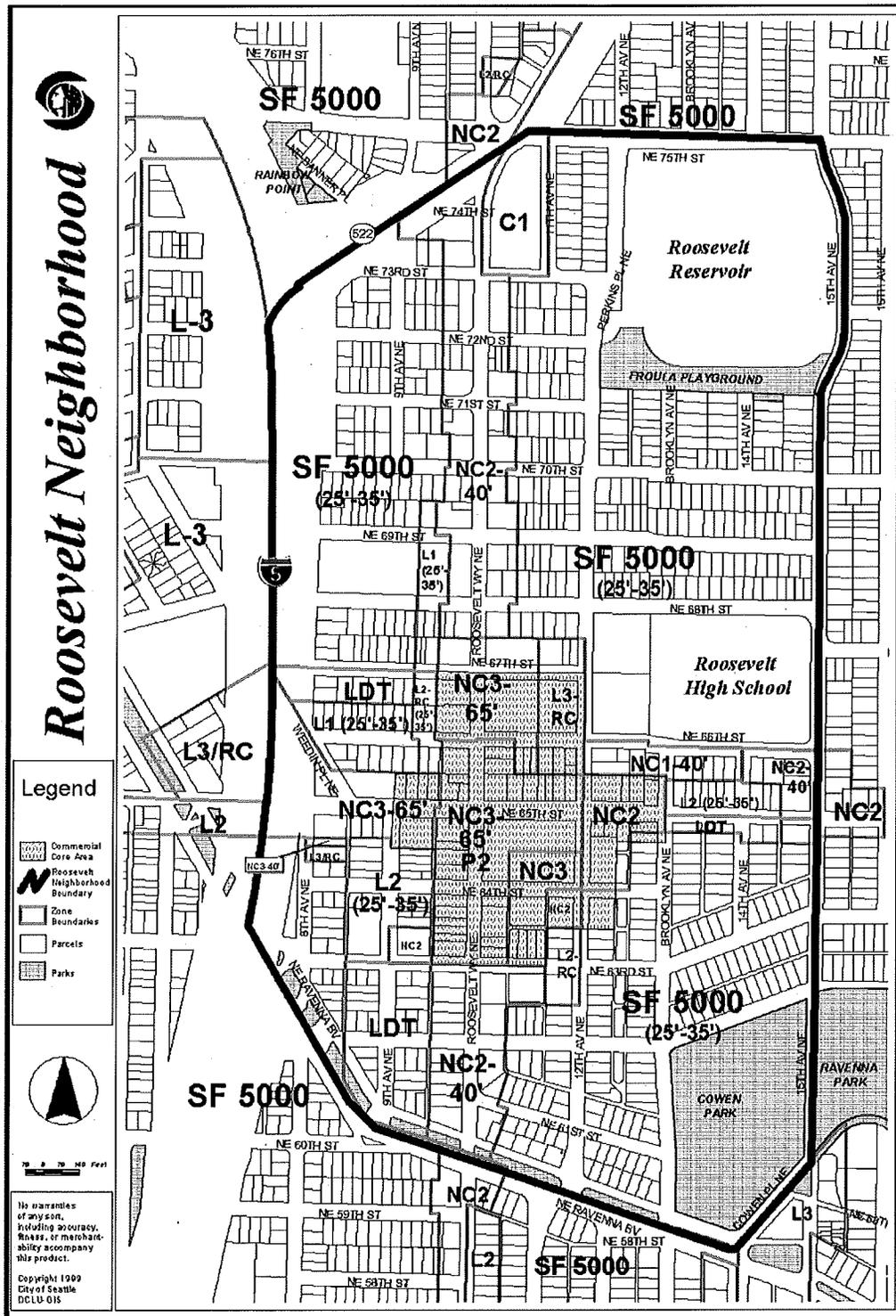
22. Measurements.

* * *



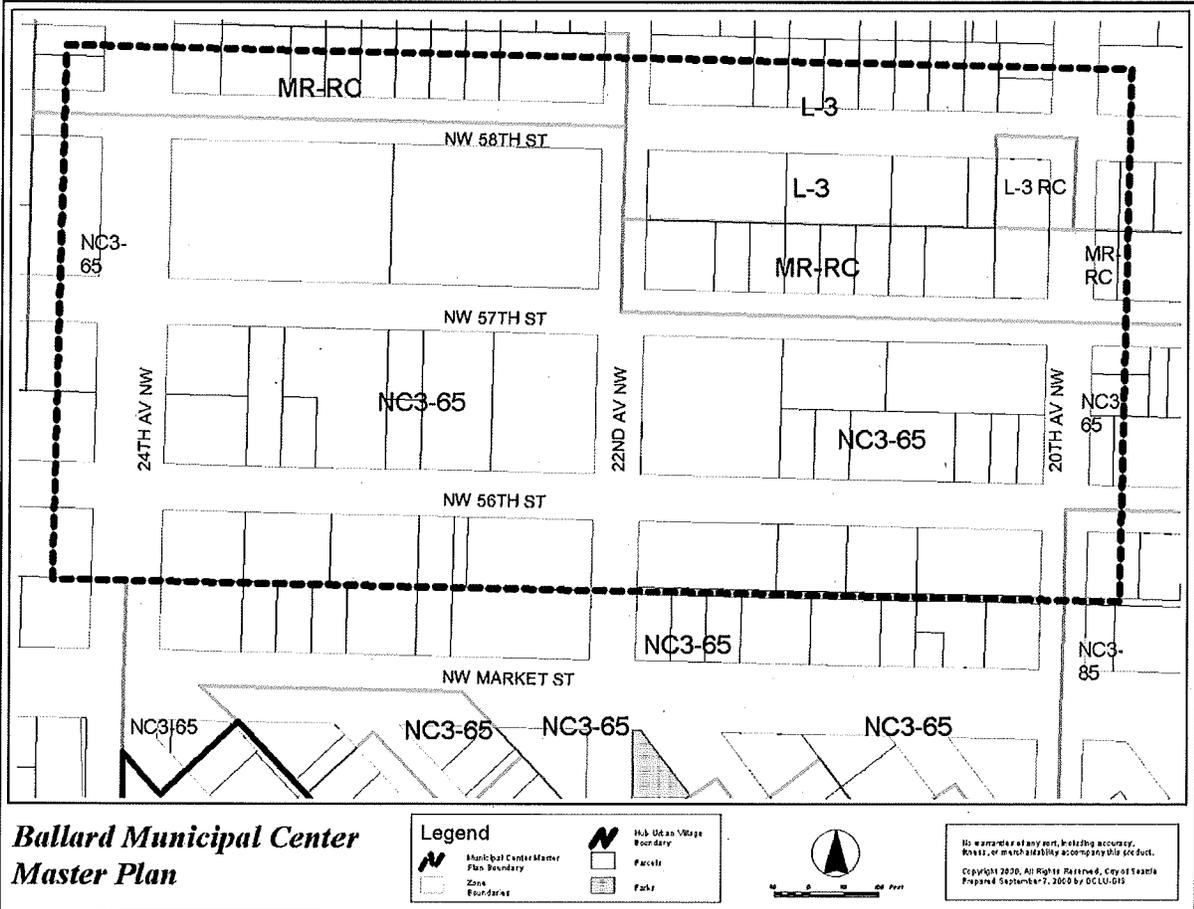
((Exhibit 23.41.012-A)) Map A for 23.41.012

Roosevelt Commercial Core



((Exhibit 23.41.012B)) Map B for 23.41.012

Ballard Municipal Center Master Plan Area



**Ballard Municipal Center
 Master Plan**

Legend

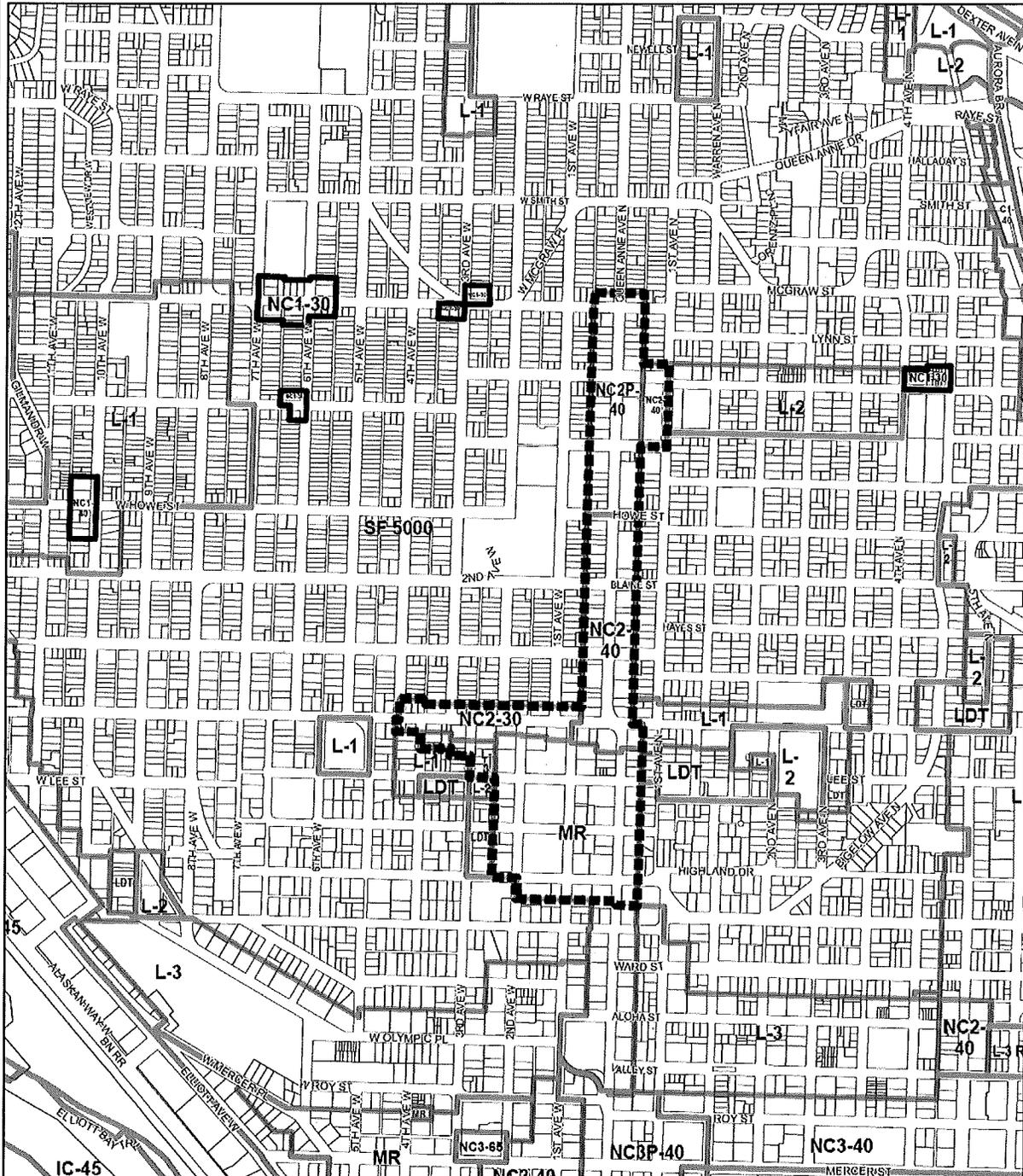
Municipal Center Master Plan Boundary	Park
Zone Boundary	Park
Zone Boundary	



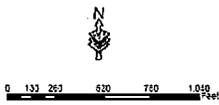
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Map C for 23.41.012
Upper Queen Anne Commercial Areas



-  Upper Queen Anne Residential Urban Village
-  Upper Queen Anne Neighborhood Commercial Zones
-  Zoning outlines
-  Parcel outlines



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 Prepared January 6, 2009 by DPD-GIS

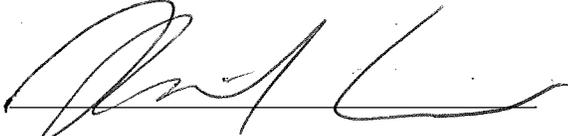


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Section 3. The provisions of this ordinance are declared to be separate and severable.
The invalidity of any particular provisions shall not affect the validity of any other provision.

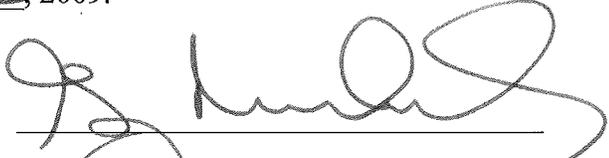
Section 4. This ordinance shall take effect and be in force thirty (30) days from and after its approval by the Mayor, but if not approved and returned by the Mayor within ten (10) days after presentation, it shall take effect as provided by Municipal Code Section 1.04.020.

Passed by the City Council the 1st day of June, 2009, and signed by me in open session in authentication of its passage this 1st day of June, 2009.



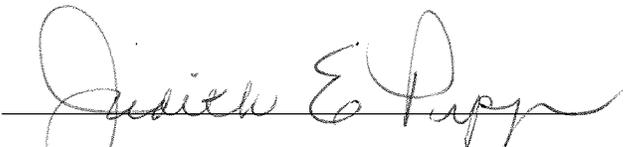
President _____ of the City Council

Approved by me this 4th day of June, 2009.



Gregory J. Nickels, Mayor

Filed by me this 8th day of June, 2009.



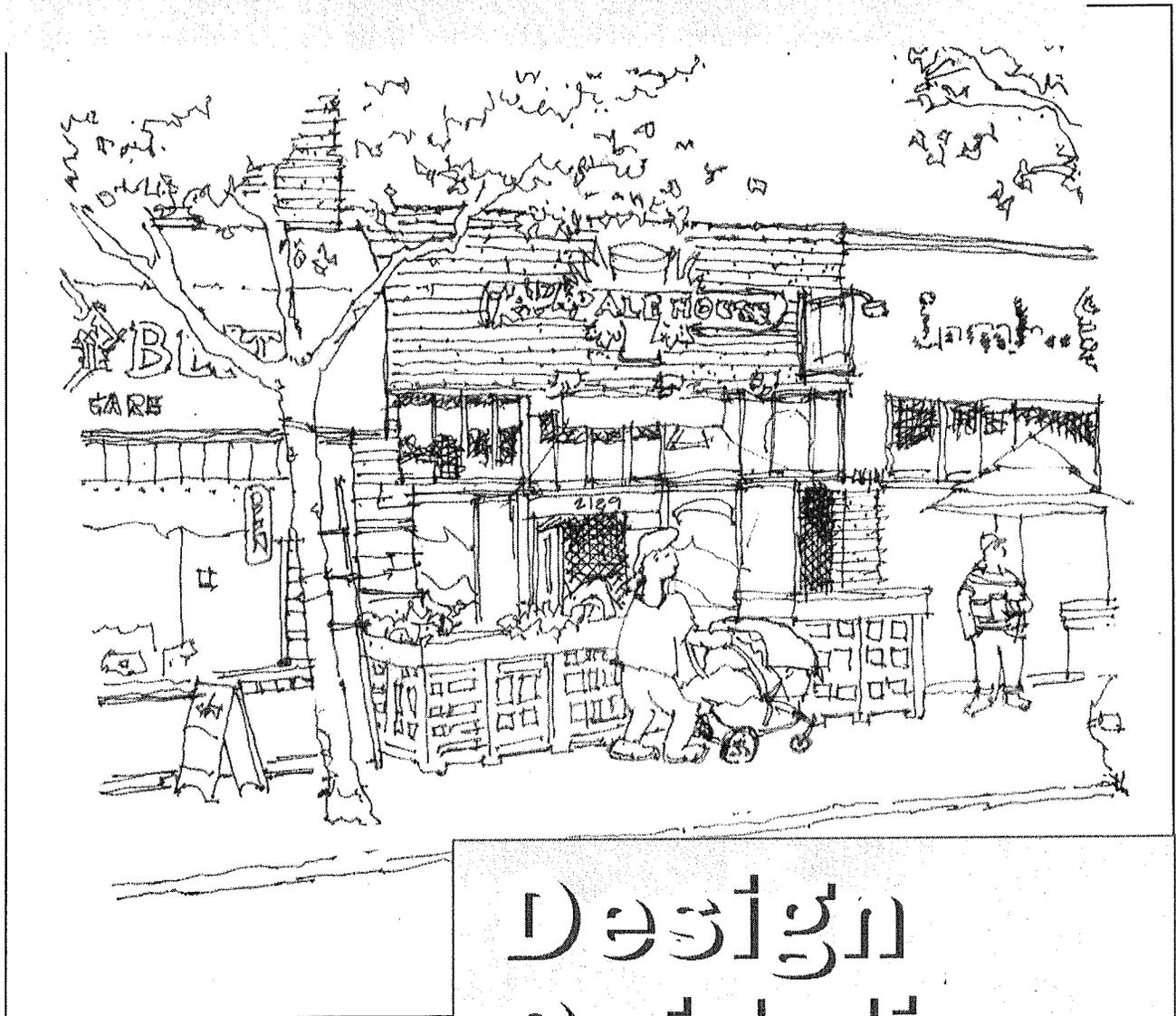
City Clerk

(Seal)

- Attachment 1: Upper Queen Anne Neighborhood Design Guidelines
- Attachment 2: Uptown Neighborhood Design Guidelines



Upper Queen Anne *neighborhood*



Design Guidelines

Proposed December 2008



City of Seattle
Department of Planning
and Development

Attachment 1 to Upper Queen
Anne and Uptown Design
Guidelines ORD



Seattle Design Review Program



Upper Queen Anne Neighborhood Supplemental Design Guidelines

All Citywide Design Guidelines are applicable for development in the Upper Queen Anne Hill Neighborhood. The following table lists those Design Guidelines for which there is supplemental Upper Queen Anne Neighborhood-specific guidance. The guidance is provided in the remaining pages of this document.

Upper Queen Anne Neighborhood-specific supplemental guidance provided?

A. Site Planning

- A-1 Responding to Site Characteristics ✓
- A-2 Streetscape Compatibility ✓
- A-3 Entrances Visible from the Street
- A-4 Human Activity ✓
- A-5 Respect for Adjacent Sites
- A-6 Transition Between Residence and Street ✓
- A-7 Residential Open Space
- A-8 Parking and Vehicle Access ✓
- A-9 Location of Parking on Commercial Street Fronts
- A-10 Corner Lots ✓

B. Height, Bulk and Scale

- B-1 Height, Bulk and Scale Compatibility ✓

C. Architectural Elements and Materials

- C-1 Architectural Context ✓
- C-2 Architectural Concept and Consistency ✓
- C-3 Human Scale ✓
- C-4 Exterior finish materials ✓
- C-5 Structured Parking Entrances

D. Pedestrian Environment

- D-1 Pedestrian Open Spaces and Entrances ✓
- D-2 Blank Walls
- D-3 Retaining Walls
- D-4 Design of Parking Lots Near Sidewalks
- D-5 Visual Impacts of Parking Structures
- D-6 Screening of Dumpsters, Utilities, and Service Areas ✓
- D-7 Personal Safety and Security ✓
- D-8 Treatment of Alleys ✓
- D-9 Commercial Signage ✓
- D-10 Commercial Lighting ✓
- D-11 Commercial Transparency
- D-13 Residential Entries and Transitions

E. Landscaping

- E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites ✓
- E-2 Landscaping to Enhance the Building and/or Site ✓
- E-3 Landscape Design to Address Special Site Conditions ✓

A. Site Planning

A-1: Responding to Site Characteristics

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

Queen Anne Supplemental Guidance:

a. Solar Orientation

1. Building massing should maximize light and air to the street and other landscaped areas.
2. Where possible, buildings should respect existing adjacencies that enjoy solar and other environmental considerations.
3. Orientation of buildings to make efficient use of passive energy is encouraged.

b. Stormwater Management

1. Stormwater collected from roof drains, street- and hard-scapes should incorporate Low Impact Development (LID) techniques such as rain gardens, bioswales and pervious pavement when possible for improved stormwater mitigation on the neighborhood.
2. Vegetated roofs are encouraged for stormwater mitigation.
3. The goal should be to infiltrate all water collected at the site as close as possible to where the rain falls. (See further explanation in Appendix A–Sustainable Design.)

A-2: Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Queen Anne Supplemental Guidance:

a. Architectural Diversity

Buildings that reflect a diversity of architectural shapes, sizes, styles and themes are considered positive attributes of the Queen Anne neighborhood.

b. Older and Historic Buildings

Existing, older buildings are valued by the community and they should be preserved or modified for reuse, when possible. New structures should respect and be designed to complement historical buildings and sites (See Historical Building and Site Survey prepared by Mimi Sheridan).

c. Wider Sidewalks

Compatibility with the desired streetscape can be enhanced by increasing the width of the sidewalk to 15' – 16', in order to relieve congestion (see related guideline in Pedestrian Environment, D-1, *Pedestrian Open Spaces and Entrances*).



d. Ground Level Residential

The community values existing ground level residential uses that add variety to the appearance and use of commercial corridor.

e. Streetscape Improvement

Streetscape design with new development should enhance the pedestrian environment in Upper Queen Anne according to a consistent high quality overall strategy. Priority locations for major streetscape upgrades are at Galer and Queen Anne Avenue N.E.; Boston Street one block east of Queen Anne Avenue; Queen Anne Avenue and McGraw Street; and Crocket Street and Queen Anne Avenue. In general streetscape improvements should include consistent fixtures for pedestrian-scaled street lamps; hanging planters; benches and bike bollards. A consistent compact deciduous street tree is preferred. Addition of curb bulbs at intersections of Queen Anne Avenue are encouraged.

Developers may elect to take specific guidance on streetscape treatments from the Picture Perfect Queen Anne Streetscape Master Plan prepared by the community to identify specific preferences for street treatments. However, adherence to the streetscape master plan is voluntary.

A-4: Human Activity

New development should be sited and designed to encourage human activity on the street.

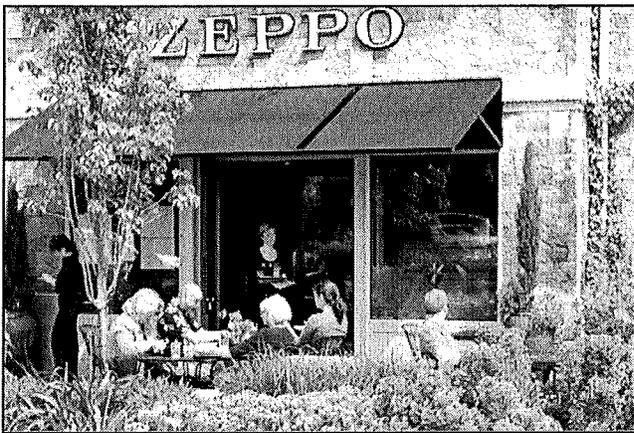
Queen Anne Supplemental Guidance:

a. Outdoor Dining

Outdoor eating and drinking opportunities are encouraged along street-level building facades.

b. Individualized Storefronts

A diversity of scale and appearance of storefronts contributes to the success and vitality of the business district. The community encourages opportunities for individual retail businesses to personalize or modify their storefronts. Such modifications could include awning or canopy design, sign design, window design and street-level building surface materials.



Individualized storefronts and outside dining are encouraged to add human activity



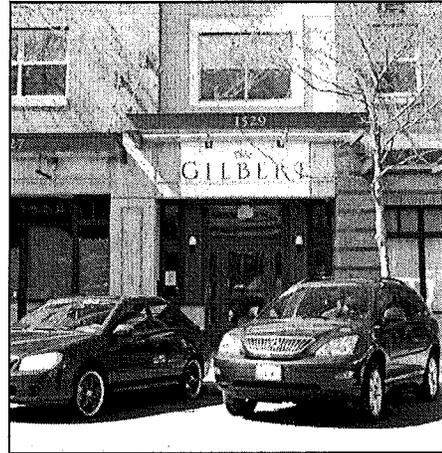
A-6: Transition between Residence and Street

For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

Queen Anne Supplemental Guidance:

a. Residential Entries

Residential entries should be set back from the street. On side streets, stoops with elevated entries and open spaces are positive features.



Provide residential entries mid-block or on cross streets, preserving corner retail opportunities

A-8: Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Queen Anne Supplemental Guidance:

a. Parking on Queen Anne Avenue

A mixture of diagonal and parallel curb parking is encouraged along Queen Anne Avenue to add variety, calm traffic and reinforce commercial nodes.

b. Access to Parking

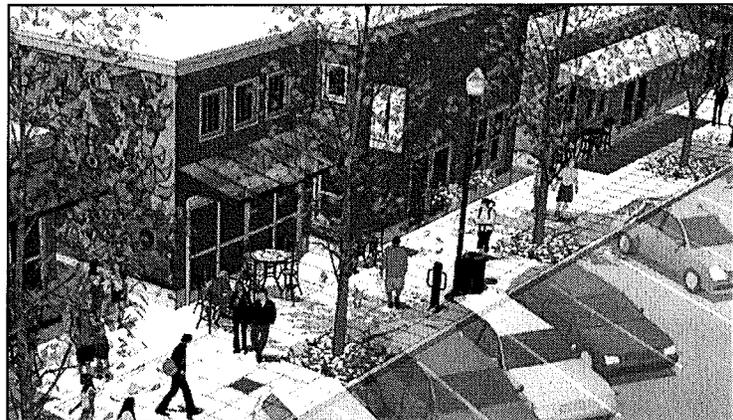
Below grade parking is encouraged with access located on alleys or side streets. Access from Queen Anne Avenue North, West Galer Street, West McGraw Street and 10th Avenue West is discouraged.

c. Preserving Existing Sidewalk Areas

Existing sidewalks and planting strips should not be removed to provide diagonal parking. East-west streets adjoining Queen Anne Avenue, such as Galer, Garfield, Blaine, Howe, and Crockett Streets, have exceptionally wide sidewalk areas, and these should be maintained, where possible.

d. Widening Narrow Alleys

For projects with commercial delivery vehicle traffic through the public alley, a building setback to widen the alley is desired for safety.



Existing diagonal parking should be preserved and encouraged in retail nodes.

A-10: Corner Lots

Building on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Queen Anne Supplemental Guidance:

a. Curb Bulbs

Curb bulbs are encouraged at all intersections for pedestrian safety.

b. Intersections

Buildings sited on corner lots should take advantage of their role as community activity nodes (see related guidelines in Section D, Pedestrian Environment and Section E, Landscaping).

Special features and strong building forms should be used to visually anchor the block. Larger setbacks are encouraged to provide wider sidewalks or plazas. Focal elements such as public art, landscaping or a community information kiosk should be considered at some intersections.



Special building forms and features should be used on corner lots to add open space and visually anchor the block

B. Height, Bulk and Scale

B-1: Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step or other transition in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

Queen Anne Supplemental Guidance:

The primary community objective regarding the height, bulk and scale of buildings addressed by these guidelines is to minimize their impact upon the pedestrian experience and the adjacent single-family properties.

Queen Anne neighborhood commercial areas are characterized by older, one- and two-story buildings, built on narrow 30- or 45-foot-wide lots. Many of these structures were further divided with storefronts as narrow as 15-foot-wide. Buildings that extend to fill the allowable zoning envelope often appear too massive. The community prefers smaller-scale structures that are less intrusive. Several development strategies meant to minimize the impact of large buildings and enhance the community's street-related experiences are preferred by the community.

a. Breaking up Building Mass

The height, bulk and scale of new buildings should reflect the architectural character and scale of the community.

1. Building mass should be broken into distinct but related sections that reflect the historic 30- and 45-foot-wide lot sizes. This can be achieved through changes in building height and setbacks, materials, coloring, and architectural detailing. Street-front facades are discouraged to extend beyond 60' without this architectural consideration.

Although monolithic street façades are discouraged on Queen Anne, simple structures that are well-fenestrated and are rich in detail at the ground level can achieve a building scale appropriate to the neighborhood. Many early, 20th-century building facades are



relatively unmodulated but are successful because of their material composition and attention to architectural detail.

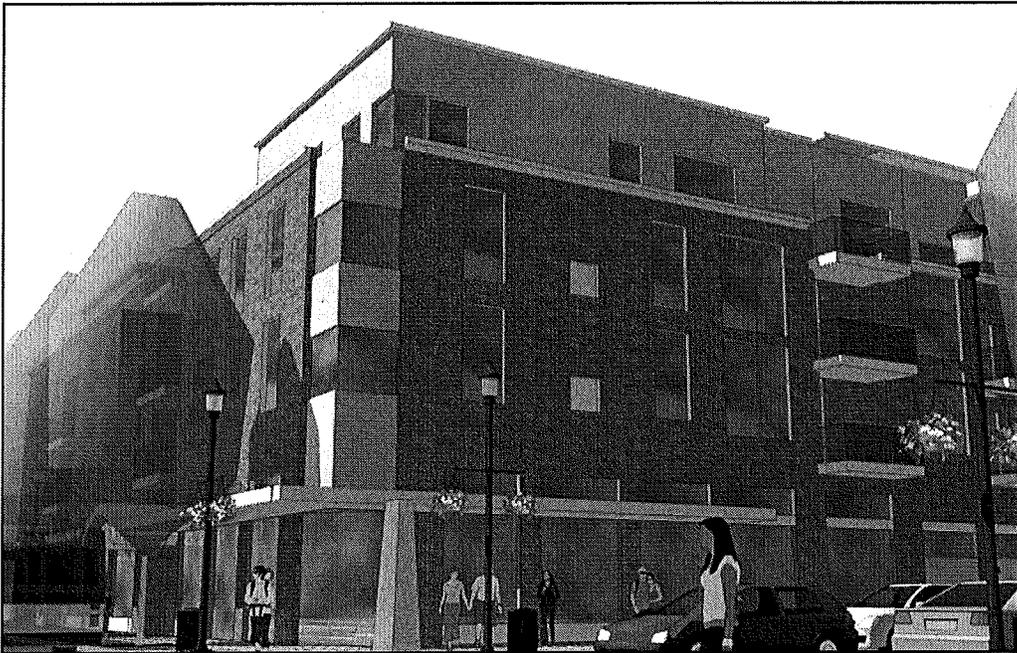
b. Preferred Strategies for Modulation

Several strategies for building modulation are preferred:

1. Bay windows, if consistent with the building's architectural vocabulary, are encouraged on street-facing façades. Preferably, bay windows should be no more than 14' wide.
2. The use of balconies on the street front elevation of buildings is discouraged, although Juliet balconies often provide an acceptable façade enhancement and increase light and air into the building and onto the street. Balconies are encouraged on facades that face adjacent single-family properties in order to create a façade treatment more sensitive to the single-family neighbors.
3. Using a variety of modulation methods helps avoid monotony along the street frontage.

c. Top Floor Setback

To increase natural light on the street, reduce the apparent height of new buildings and preserve the feel of smaller-scale commercial buildings, the community would consider supporting a departure for additional building height of 3 feet for projects that step back the top floor of the structure a minimum of 6 feet from the street side façade(s).



Example of a fourth floor upper level setback to reduce the apparent scale of new development

d. Setbacks where Commercial abuts Residential

When possible, building heights should be reduced and setbacks increased where commercial uses abut residential uses. However, the community strongly supports wider sidewalks and pedestrian open spaces along public streets. In order to help a development provide these features, the community would likely support development flexibility by granting departures, as appropriate.

(See related guidelines in Site Planning, A-8, Widening Narrow Alleys; and Pedestrian Environment, D-1, Building Setbacks for Wider Sidewalks, Avoiding



Dark, Unusable Spaces and Pedestrian Weather Protection.)

C. Architectural Elements and Materials

C-1: Architectural Context

Proposed new and retrofitted older buildings planned for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Queen Anne Supplemental Guidance:

There is a clear community preference for buildings that complement the scale and architectural character of early, 20th-century commercial buildings. These structures demonstrate an established and successful approach to creating a pedestrian-oriented village center and reinforce the community desire for smaller, narrower buildings that support smaller local merchants. Architectural characteristics typical of these earlier structures include:

- One- and two-story buildings with 30- to 45-foot-wide facades and storefronts as narrow as 15 feet
- Solid kick panels below windows
- Large storefront windows
- Multi-pane or double-hung windows with transoms or clerestory lights
- A high level of fine-grained detailing and trim, especially at street level
- High quality materials, such as brick and terra-cotta, tile, natural and cast stone
- Marquees or canopies that provide pedestrian weather protection
- Variable parapet heights
- Defined and detailed cornices
- Variety in commercial door and window styles and colors



Small local businesses are encouraged and well accommodated in retrofitted older buildings

The diverse portfolio of styles, shapes and sizes within the Upper Queen Anne neighborhood commercial zones, including the adaptive re-use of older structures, is an essential component of the neighborhood's pedestrian orientation and community feel. Contemporary architecture may also fit on Queen Anne if it is consistent with the district's historical character and architectural quality, as outlined above. However, structures with ground-floor expressions similar to downtown office or condominium structures would be inappropriate.

a. Features Especially Encouraged

The following architectural features are especially encouraged:

- Sustainable design
- Multi-pane or double hung windows with transoms or clerestory lights for ground

floor retail spaces

- Marquees or canopies. However, continuous, uniform marquees or canopies longer than the 30- to 45-foot width are discouraged. (See related guidelines in Pedestrian Environment, D-1, *Pedestrian Weather Protection*.)
- Pronounced cornices that reflect an association with historical characteristics in scale, material choice, and design
- Variable parapet heights can help reduce scale and provide successful architectural modulation

b. Small Local Businesses

Retail spaces are preferred that are suitable for family-run or small, local businesses. Buildings designed for large businesses or franchises typically don't provide the desired neighborhood character and village scale.

C-2: Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.

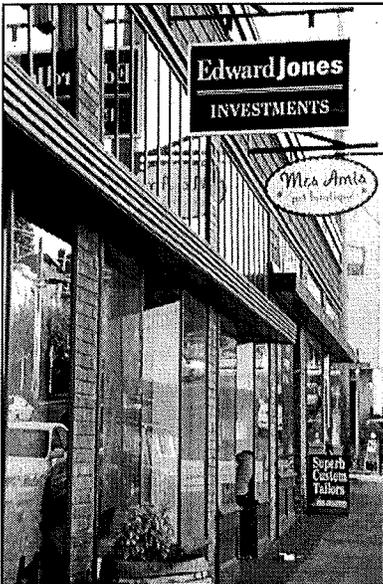
Buildings should exhibit form and features identifying the functions within the building.

In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

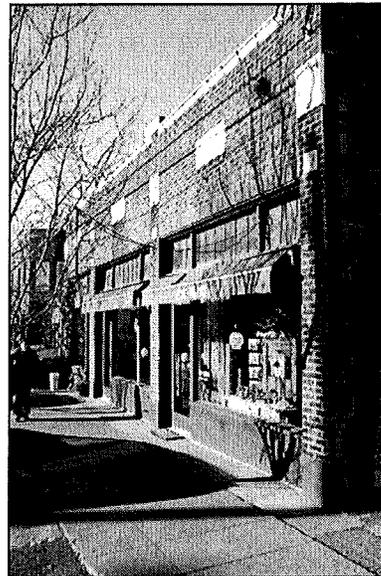
Queen Anne Supplemental Guidance:

a. Individualized Storefronts

Commercial buildings are preferred that are designed to allow individual tenants to modify their storefronts. This can include making provisions for unique and custom treatment of storefront facades, entry doors and



Example of individual storefronts



Flexible retail bays

windows, canopies and marquees, signage or outdoor display space.

b. Highlighting Distinctive Features

Distinctive features of the building, including entries, signage, canopies, and areas of architectural detail and interest should be illuminated. Sidewalk lighting that is integrated into the building façade is encouraged. (See related guidelines in Pedestrian Environment, D-10, *Commercial Lighting*)

c. Screening Rooftop Systems

Rooftop building systems (i.e., mechanical and electrical equipment, antennas) should be screened from key observation points by integrating them into the building design with parapets, screens or other methods that respect and reinforce the building vocabulary. Faux fences and other similar devices are discouraged.

d. Sustainable Building Features

Sustainable building features are encouraged to be considered as an integral part of the architectural concept for new construction and major renovation. Inclusion of features to achieve LEED rating, incorporation of LID, and location of Green Factor planting in the most public locations are among the encouraged sustainability principles.

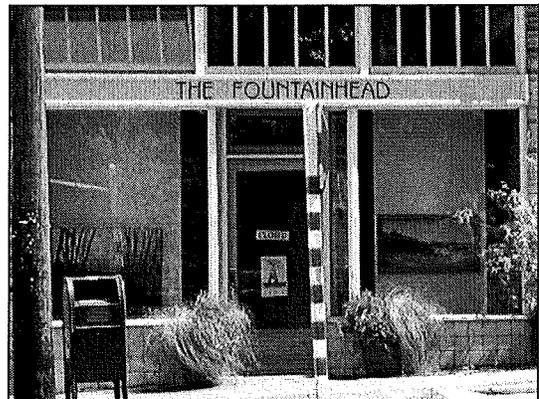
C-3: Human Scale

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

Queen Anne Supplemental Guidance:

a. Pedestrian Orientation

Human scale contributes to a structure's overall appeal and is a key element in creating an inviting pedestrian oriented community. Street level and alley treatments require special attentiveness to human scale. In general, fine grain detail and high quality materials at street level, characteristic of early twentieth century commercial buildings, enhance the pedestrian experience and add to the overall appeal of buildings, making them more consistent with the desired character of the neighborhood.



Architectural features should be selected to provide intimate human scale

C-4: Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Queen Anne Supplemental Guidance:

a. Building for the Long Term

New buildings should be designed and built as high-quality, long-term additions to the



neighborhood with design and materials appropriate to Queen Anne.

b. Cladding Materials

High-quality cladding materials, such as brick and terra cotta, tile, natural and cast stone are suitable for the planning area. Although primary attention to material quality should be paid to the streetscape façade, quality materials are also desirable on alley-facing facades.

- Brick is the most common surface treatment in Queen Anne’s commercial areas and is strongly encouraged.
- The use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) is highly discouraged, especially on ground-level locations.
- Materials that are subject to fading and discoloration should also be avoided.

c. Ground-floor Façade Materials

Finish materials on ground-floor facades adjacent to pedestrian open space and sidewalk areas should exhibit quality and refined architectural detailing.

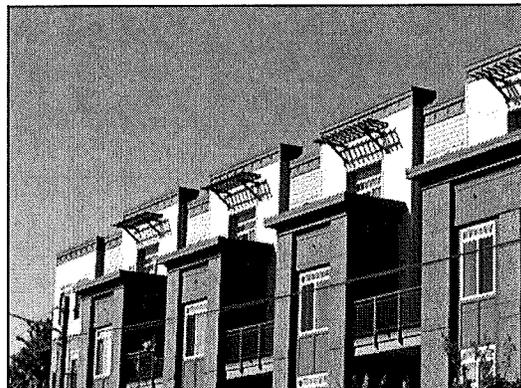
- Cast stone, tile or brick that reflects architectural features on existing buildings is strongly encouraged.
- Large storefront windows should be composed of quality materials.
- The use of concrete as an exterior material along ground-floor facades is discouraged, unless well detailed and crafted.
- Absorbent or matte-finish materials that make cleaning or removing graffiti difficult are discouraged.

d. Colors

Colors should be applied sensitively and should be considered in terms of their relationship to neighboring buildings.

e. Renewable Materials

When possible, use renewable building materials acquired from regional producers and manufacturers.



High quality materials and colors compatible with the character of the neighborhood are encouraged



D. Pedestrian Environment

D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Queen Anne Supplemental Guidance:

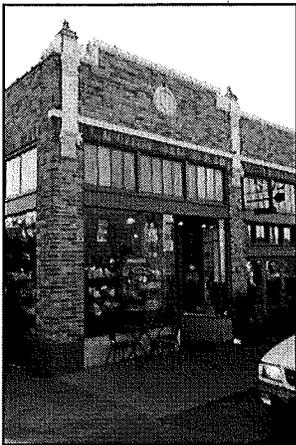
Sidewalks along Queen Anne Avenue are typically too narrow to support a viable pedestrian environment. Sidewalks become congested, outdoor seating and other pedestrian amenities are difficult to accommodate and people, their dogs, strollers, and bicycles damage in-ground plantings. Wider sidewalks are viewed as being vital to creating a vibrant pedestrian environment.

a. Building Setbacks for Wider Sidewalks

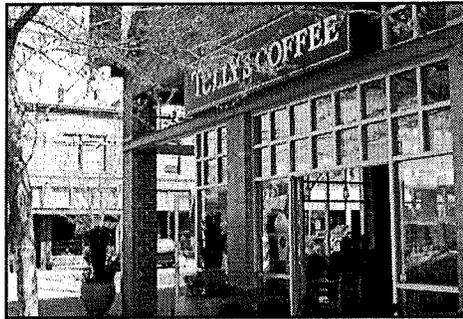
Where possible, buildings should be set back 3 to 4 feet from property lines abutting public sidewalks to provide increased sidewalk width (at least 15' – 16', including walkway and amenity strip) along Queen Anne Avenue.

b. Creating Pedestrian Open Space

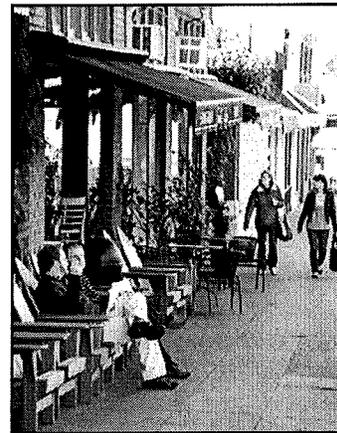
Courtyards and other pedestrian open spaces that accommodate outdoor eating, serve as public gathering areas, or provide greenery along the streetscape are especially encouraged. Such areas should be sited, if possible, to allow sunlight to penetrate. (A good example is the courtyard located at 1811 Queen Anne Avenue N. adjacent to El Diablo Coffee Company and the Queen Anne Bookstore.)



Provide individualized storefronts



Encourage operable storefronts that expand the effective sidewalk width for outdoor dining



Encourage a variety of awnings and glass canopies unique to each storefront

c. Recessed Retail Entry Areas

Retail entries that are recessed and designed to encourage and enhance pedestrian movement and activity are preferred. The scale of retail entries should be commensurate with the façade.

d. Avoiding Dark, Unusable Spaces

The spaces created by recessed storefronts, facade modulation or building setbacks at ground-level should not darken retail areas and should be large enough to be usable by pedestrians or to provide opportunities for uses such as outdoor café seating or flower-shop displays.

e. Pedestrian Weather Protection

Some pedestrian weather protection, in the form of canopies and awnings over sidewalks, is desirable. However, the community values open air and sunlight, so long, unbroken stretches of overhead protection are discouraged. Structures longer than the traditional 45-foot wide buildings characteristic of Queen Anne should avoid continuous and uniform awnings or canopies. Pedestrian weather protection that provides for sunlight at the street level, through either clear glass or retractable systems, should be considered. (See related guideline in Architectural Elements and Materials, C-2, *Individualized Storefronts*)

f. Operable Storefront Windows

Storefront windows that open the interior space to the sidewalk are encouraged to provide outdoor eating and drinking opportunities.

g. Retail Use and Open Space at Sidewalk Level

Retail uses adjacent to sidewalks should be located at sidewalk level. Below grade entries are discouraged. Setbacks and plazas should be at sidewalk level, although outdoor dining plazas or terraces elevated above the sidewalk level are acceptable if they are wheelchair accessible.

h. Pedestrian Amenities and Street Furniture

New development should be encouraged to integrate pedestrian amenities including, but not limited to street trees, pedestrian lighting, benches on street corners, trash receptacles, consolidated newspaper racks, public art, and bike racks in order to maintain and strengthen pedestrian activity. (See also guideline A-2 Streetscape Compatibility)

j. Bus Waiting Facilities in Buildings

Incorporate facilities for transit riders within building facades at bus stops. This could include covered waiting areas with benches, landscaping and lighting. (See related guideline in Pedestrian Environment, D-7, *Bus Bulbs*)



The integration of bus waiting facilities into building frontages avoids the need for free-standing transit shelters

k. Residential Entries

Residential entries should be clearly pronounced and set back from the street. On side streets, stoops with elevated entries and open spaces are encouraged.

D-6 Screening of Dumpsters, Utilities, and Service Areas

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Queen Anne Supplemental Guidance:

a. Additional Screening near Single-family Zoning

Due to the close proximity of single family homes to commercial zones in Queen Anne, additional screening of dumpsters, utilities and services is encouraged in order to soften the impact of commercial development. Also, dumpster areas for food service-type businesses should be placed in such a way that odor is shielded from nearby homes.

D-7 Personal Safety and Security

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

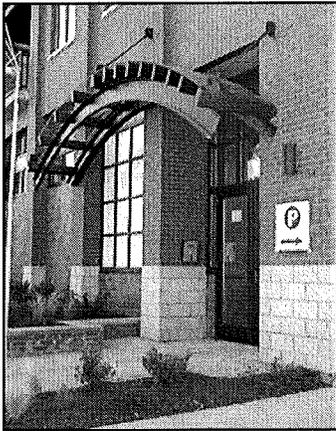
Queen Anne Supplemental Guidance:

a. Sidewalk Obstructions

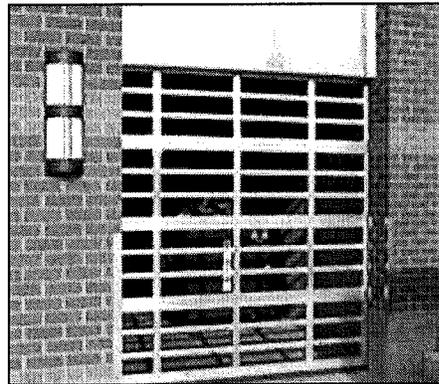
On narrow sidewalks, obstructions that impede pedestrian activity are potential safety hazards and should be avoided and carefully considered.

b. Tree Grates

In heavily used pedestrian areas, such as a bus zones, consider installing tree grates.



Residential entries should be visible from the sidewalk and landscaping is encouraged



Screening should be used to conceal dumpsters in alleys



c. Curb Bulbs and Crosswalks

Install crosswalks and curb bulbs when applicable and in concert with SDOT and City Plans.

d. Bus Bulbs

Coordinate with Metro Transit to provide bus bulbs (extensions of the sidewalk and amenities strip into the street that allow buses to stop without pulling out of the traffic lane) to help widen sidewalks and improve pedestrian safety.

e. Curb Cuts

Discourage curb cuts for vehicle ingress or egress across sidewalks on Queen Anne Avenue North.

f. Security and Visibility

Discourage solid fences that reduce security and visual access from streets and install pedestrian-scale lighting at building entrances and dark alcoves. (See related guideline in Pedestrian Environment, D-10, *Commercial Lighting*)

D-8: Treatment of Alleys

The design of alley entrances should enhance the pedestrian street front.

Queen Anne Supplemental Guidance:

Alleys separate commercial areas from single-family homes both to the east and west of Queen Anne Avenue North. The close proximity of commercial uses to single family homes in the commercial area make this a sensitive interface. The alleys are also an important part of the pedestrian environment. (See related guideline in Site Planning, A-8, *Widening Narrow Alleys*)

a. Quality Materials

Quality materials should always be considered on the alley side of commercial structures to soften the impact of commercial development.

b. Architectural Detail

Attention should be given to the design and detailing on the alley side of buildings. Alleys are not unused, unseen locations but rather an integrated part of the commercial and mixed-use environment, especially in this neighborhood due to the proximity of single-family housing.

c. Plantings along Alleys

Vertically integrated green materials, including hanging vines and drought-tolerant plantings should be incorporated.



D-9: Commercial Signage

Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

Queen Anne Supplemental Guidance:

a. Pedestrian-oriented Signs

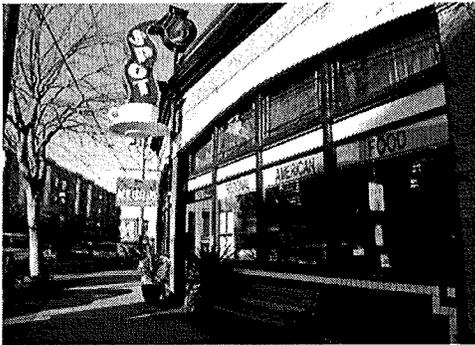
Pedestrian-oriented signs, such as blade signs mounted perpendicular to pedestrian sidewalks on storefronts or on the underside of rain canopies, architecturally integrated signs and small, unique signs (such as signs made of natural materials like painted wood, carvings, metal or etched glass) are encouraged. Directional lighting for signs is also encouraged.

b. Signs to Avoid

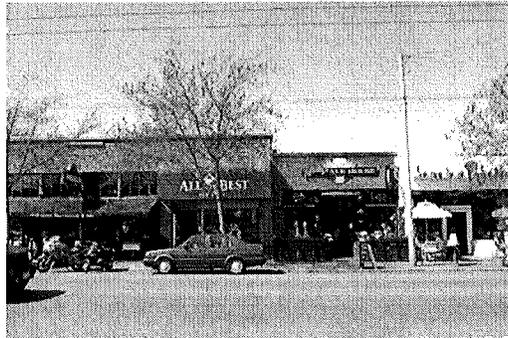
Backlit signs, digitally animated signs and illuminated letters that are typically auto-oriented rather than pedestrian-oriented are discouraged.

D-10: Commercial Lighting

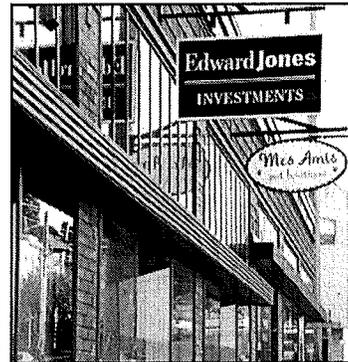
Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage.



Commercial lighting should enhance the quality of the pedestrian environment



Pedestrian-scaled signs are encouraged



Individual expression in commercial signage is encouraged, rather than uniformity

Queen Anne Supplemental Guidance:

a. Preferred Pedestrian Lighting

The following modes of pedestrian lighting are preferred:

- Pedestrian-scale street lighting, such as 19-foot-high pole fixtures
- Exterior wall sconces on the front of buildings
- Down lighting under rain canopies
- Display window lighting that casts soft light on sidewalks

b. Pedestrian lighting considerations

- Pedestrian lighting should be coordinated with tree plantings so that pedestrian areas will be well-lighted beneath trees as they mature, as well as beneath storefront canopies.
- Fixtures should include shielding to prevent glare into single-family homes and residential units on floors above the sidewalk level.
- Recessed entryways should be lit with wall sconces or other down-lighting fixtures.
- Bollard light fixtures are discouraged.

E. Landscaping

Quality landscaping significantly contributes to the overall aesthetic of Queen Anne's urban village: New developments are expected to provide attractive and architecturally compatible landscape design that reinforces pedestrian activity at the street level and presents a welcoming character to entrances facing the street. Landscaping includes living plant material, special pavements, trellises, planters, lighting, artwork, fountains, and site furniture.

E-1 Reinforce Existing Landscape Character of Neighborhood

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Queen Anne Supplemental Guidance:

a. Uniform Street Tree Plantings

If a street has a uniform planting of street trees, or a distinctive species, new street trees should match. For example, trees along Queen Anne Avenue are maples. See www.PPQA.com and SDOT master tree plan for specific recommendations.

b. Landscape Maintenance and Irrigation

Pruned trees and tended landscapes are representative of Queen Anne's neighborhood. Automatic irrigation or the use of harvested rainwater and professional landscape maintenance are strongly recommended to maintain an attractive landscape.

c. Street-level Landscaping

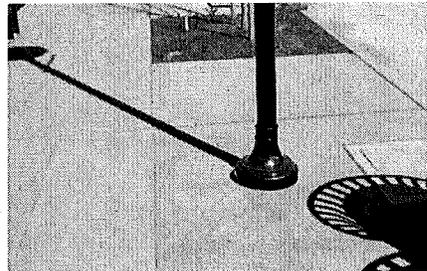
Queen Anne's commercial areas are comprised of residences and commercial establishments surrounded by a large single-family residential neighborhood. A strong natural presence of greenery is necessary to soften the harshness of commercial structures in this context. Significant landscaping at the street level is desirable to



Uniform street tree planting and pedestrian-scale lighting



Landscaped curb bulbs are encouraged



Irrigation and/or use of harvested rainwater (permeable concrete) is encouraged

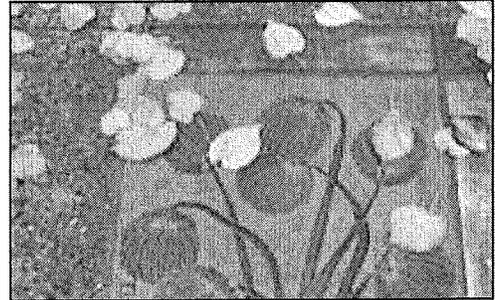
attract and welcome shoppers and residents to maintain the village feel of commercial areas.

d. Visible Landscaping

Each development should include welcoming landscape that can be seen by pedestrians at ground level. Landscaping on upper levels of buildings is encouraged if visible from the sidewalk.

e. Art in the Pedestrian Environment

Public art should be integrated into buildings and landscaping whenever possible.



The integration of public art is encouraged at the street level and in the streetscape (See Queen Anne Avenue streetscape master plan.)

E-2 Landscaping to Enhance the Building and/or Site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Queen Anne Supplemental Guidance:

a. Green Factor Focus on Ground-level Plantings

The Green Factor, a requirement of the Seattle Land Use Code, should be thoughtfully applied; a focus on ground-level plantings that enhance the pedestrian environment is strongly recommended (For more information refer to www.seattle.gov/dpd/Permits/GreenFactor).

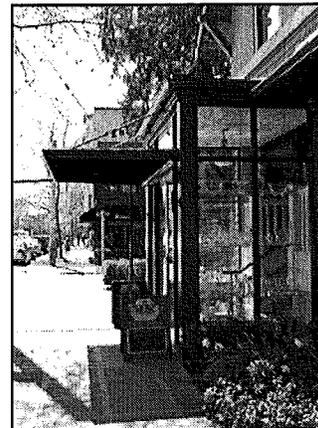
b. Recommended Landscape Enhancements

The following landscape enhancements are encouraged:

1. Soften the building form by using wall-hung trellises, terraced landscaping, planted retaining walls, or include planted pergolas to shelter pathways and courtyards.
2. Incorporate a planter wall or planter box as part of the architecture.
3. Include a planted landscaped courtyard, entryway or fountain.
4. Distinctively landscape open areas created by building modulation with in-ground plantings or large planters.
5. Emphasize entries and corners with special plantings or planted containers in conjunction with decorative paving, sculpture and lighting.

c. Evergreen Plantings

The use of mostly evergreen plants is strongly recommended for a year-round attractive landscape.



An example of Green factor features contributing to the quality of the streetscape

d. Quality Landscaping Materials

Lush landscape materials and the use of interesting details in paving, outdoor furniture, fountains and artwork are encouraged.

e. Recommended Plants

Plant selections should be tailored to the light conditions on the east and west sides of Queen Anne Avenue. Developers may elect to take guidance on plant selections from a plant list prepared by Picture Perfect Queen Anne to communicate specific community preferences.

f. Planted Containers

A variety of planted containers to mark business entries is encouraged to enhance the pedestrian environment.

E-3 Landscape Design to Address Special Site Conditions

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas and boulevards.

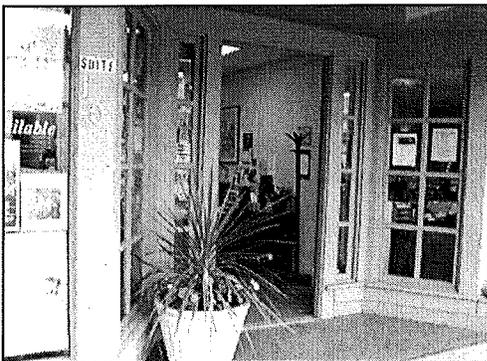
Queen Anne Supplemental Guidance:

a. Building Floors above Sidewalk Level

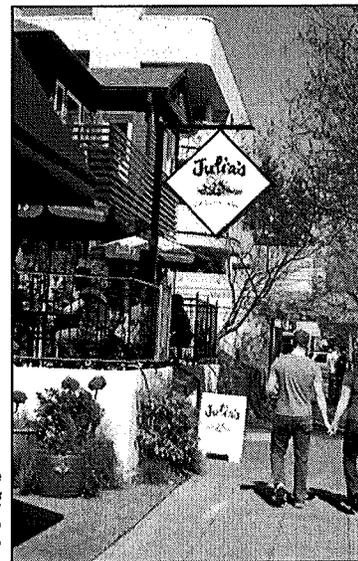
Where a building entrance or floor is elevated above a pedestrian's eye level at the sidewalk, landscaping can help make the transition between grades by providing a planted or terraced wall or rockery.

b. Wheelchair Ramps

Where wheelchair ramps must be provided on a street front, the ramp structure can be landscaped and blended into the overall design. Use curb-sided ADA ramps wherever feasible to maximize landscaping areas.



Planted containers are encouraged to make an inviting entry



Areas above sidewalk level provide landscaping and outdoor dining opportunities and should be ADA accessible





Uptown
neighborhood

**Design
Guidelines**

Proposed December 2008



City of Seattle
Department of Planning
and Development



Seattle Design Review Program

Attachment 2 to Upper Queen
Anne and Uptown Design
Guidelines ORD



The table summarizes whether Uptown-specific guidance is given, and if targeted Character Area direction is provided.

Citywide Design Guideline	Uptown Supplemental Guidance	Targeted Character Area Direction
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A. Site Planning

A-1 Respond to Site Characteristics.....	Yes	Uptown Park; Uptown Urban; Heart of Uptown
A-2 Streetscape Compatibility.....	Yes	Uptown Park; Uptown Urban; Heart of Uptown
A-3 Entrances Visible From the Street.....	Yes	
A-4 Human Activity.....	Yes	Uptown Park; Uptown Urban; Heart of Uptown
A-5 Respect for Adjacent Sites.....		
A-6 Transition Between Residence and Street.....	Yes	Uptown Park
A-7 Residential Open Space.....	Yes	
A-8 Parking and Vehicle Access.....	Yes	
A-9 Location of Parking on Commercial Street Fronts.....		
A-10 Corner Lots.....	Yes	

B. Height, Bulk and Scale

B-1 Height, Bulk and Scale Compatibility.....	Yes	Uptown Urban; Heart of Uptown
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C. Architectural Elements and Materials

C-1 Architectural Context.....	Yes	Uptown Park; Uptown Urban; Heart of Uptown
C-2 Architectural Concept and Consistency.....	Yes	
C-3 Human Scale.....	Yes	
C-4 Exterior Finish Materials.....	Yes	Uptown Park; Uptown Urban; Heart of Uptown
C-5 Structured Parking Entrances.....		

D. Pedestrian Environment

D-1 Pedestrian Open Spaces and Entrances.....	Yes	Uptown Urban
D-2 Blank Walls.....	Yes	Uptown Park; Uptown Urban; Heart of Uptown
D-3 Retaining Walls.....	Yes	Uptown Park
D-4 Design of Parking Lots Near Sidewalks.....	Yes	Uptown Urban; Heart of Uptown
D-5 Visual Impact of Parking Structures.....	Yes	Uptown Urban; Heart of Uptown
D-6 Screening of Dumpsters, Utilities, and Service Areas.....		
D-7 Personal Safety, and Security.....		
D-8 Treatment of Alleys.....	Yes	Uptown Urban; Heart of Uptown
D-9 Commercial Signage.....	Yes	
D-10 Commercial Lighting.....	Yes	Uptown Urban; Heart of Uptown

E. Landscaping

E-1 Landscaping to Enhance Continuity with Adjacent Sites.....	Yes	Uptown Park
E-2 Landscaping to Enhance Building and/or Site.....	Yes	Uptown Park
E-3 Landscape Design to Address Special Site Conditions.....		



A. Site Planning

A-1 Responding To Site Characteristics

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views of other natural features.

Uptown Supplemental Guidance:

Throughout Uptown new developments should, to the extent possible, be sited to further contribute to the neighborhood's pedestrian character.

In the **Uptown Urban** and **Heart of Uptown** character areas encourage outdoor dining areas utilizing sidewalks and areas adjacent to sidewalks. Outdoor dining is especially encouraged for sites on block faces with southern exposure.



Outdoor dining is encouraged on south-facing blocks to take advantage of sun exposure.

A-2 Streetscape Compatibility

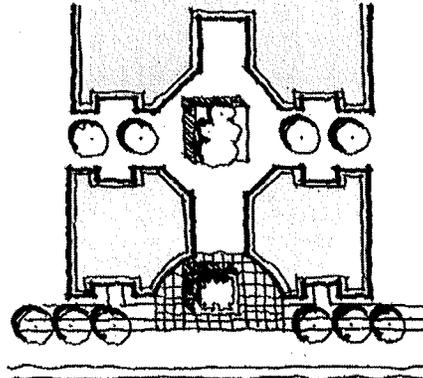
The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Uptown Supplemental Guidance:

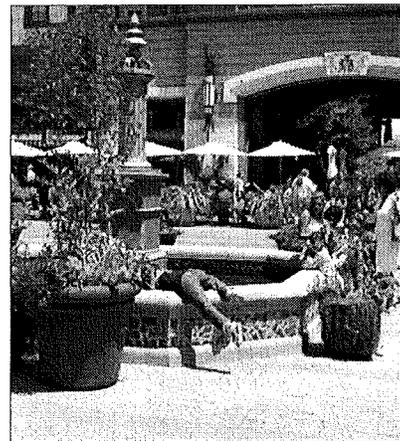
Throughout Uptown developments that respond outward to the public realm are preferred.

- Site outdoor spaces in accordance with the location and scale of adjacent streets, buildings, and uses. For example, an on-site plaza should not unduly interrupt the retail continuity of a street.
- Locate plazas intended for public use at or near grade to promote both a physical and visual connection to the street. Special paving materials, landscaping, and other elements can be used to provide a clear definition between the public and private realms.
- Define outdoor spaces through a combination of building and landscaping, and discourage oversized spaces that lack containment.

Throughout Uptown site identity features such as art, signage or major public open space at gateway locations as identified on the map. Seek opportunities for welcoming signage that is specific to the Uptown Urban Center at gateway locations. Architecture should also reinforce gateway locations.



An example of a courtyard with access from an adjacent street that is visually permeable from the sidewalk, allowing passersby to see into the space.



Public art and focal points such as towers and fountains may be appropriate for plazas in certain locations.

Within the **Uptown Park** character area, streetscape improvements should include where feasible a consistent park-like landscaped strip in the planting strip, as consistent with the historic pattern in the area. New developments may elect to take inspiration from the *Uptown Park District Landscaped Streets Element* as endorsed by the Uptown Alliance, for the format of the streetscape. However, adherence to the landscaped streets element is voluntary.

In the **Uptown Urban** and **Heart of Uptown** character areas, encourage streetscapes that respond to unique conditions created by Seattle Center. Encourage wide sidewalks to accommodate high pedestrian volumes during event times, and create safe, well-marked crossings at entrances to the Center. Streetscape furniture and landscaping should be cited and designed to accommodate the flow of event crowds. Buildings on and adjacent to the Seattle Center campus should be cited to create relationships and connections between the Center and surrounding Uptown neighborhoods.

In the **Heart of Uptown** character area new development should provide when possible: a widened sidewalk through additional building setback at street level; or retail façade design with panels, sliding doors or other features that allow generous openings to the street.

In the **Uptown Park** character area, when retail and offices are located within the neighborhood, they should be designed to acknowledge and blend with the predominantly residential environment. Storefronts, office entries and signs should be understated and muted, while still presenting a street presence. Bright or loud colors and lights should be avoided in this park-like residential character area.



Streetscapes should respond to unique conditions presented by Seattle Center such as the McCaw Hall plaza.



Facades in the Heart of Uptown should provide additional setbacks and have generous openings to the street.

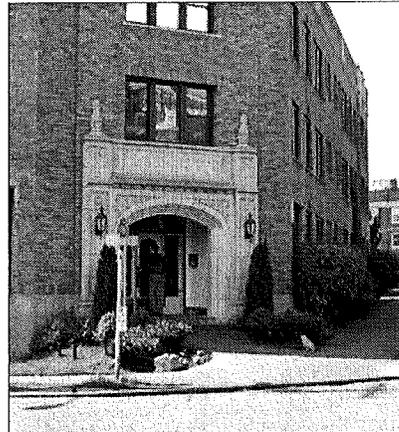
A-3 Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street

Uptown Supplemental Guidance:

Throughout Uptown, major entrances to developments should be prominent. The use of distinctive designs with historical references is strongly encouraged. Design, detailing, materials and landscaping may all be employed to this end. Building addresses and names (if applicable) should be located at entrances, tastefully crafted.

Streets throughout Uptown should be sociable places that offer a sense of security, and residential building projects should make a positive contribution to life on the street.



Classical detailing around entrances is a common feature found in the neighborhood.

A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

Uptown Supplemental Guidance:

A top priority within the **Heart of Uptown** character area is to promote active, customer-oriented retail storefronts at street level. The ground floor of buildings in this character area should help create the most active and vibrant street environment in Uptown. A variety of narrower storefront shops are preferred to wide continuous single storefronts.

Major retail spaces are encouraged on streets designated **Large Scale Commercial Corridor** as shown on the map. The physical scale of these streets and their buildings is the most appropriate to accommodate major retailers in Uptown without detracting from street activity levels and character.

Throughout Uptown encourage outdoor dining



A variety of narrow storefronts create an active streetscape.



This space provides a transition between indoors and outdoors and helps create an active street environment.

A-6 Transition Between Residence and Street

For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

Uptown Supplemental Guidance:

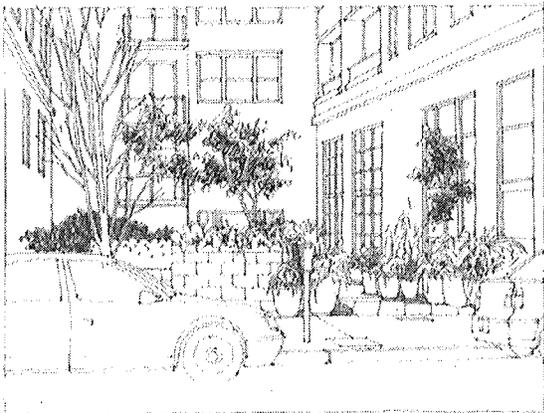
Front Setbacks

Where feasible, new development in the **Uptown Park** character area should consider landscaping any setback from the sidewalk. Landscaping within a setback should provide a transition from public to private space and define a boundary between these. The use of raised planters within the setback should be encouraged in some locations where this would reduce impacts to landscaping from foot traffic and sidewalk litter.

Where the incorporation of decorative gates and fencing may be necessary to delineate between public and private spaces, these features should be softened by landscaping where feasible. Fenced areas should be large enough to provide sufficient space for residents to personalize private entrance (e.g., include potted plants or other personal amenities).



Landscape design in a shallow residential setback from the street.



An entry courtyard in a deeper setback from the street



Porches and stoops, and balconies and windows help animate the street and create a self-policing environment.

A-8 Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Uptown Supplemental Guidance:

Throughout Uptown the preferred location for surface parking lots is in the rear of the building or away from or otherwise screened from the street and sidewalk.

Preferred Alley Access

Access to new development is preferred via alleyways, if feasible.

Throughout Uptown encourage all parking for residential uses to be located below grade.



A-10 Corner Lots

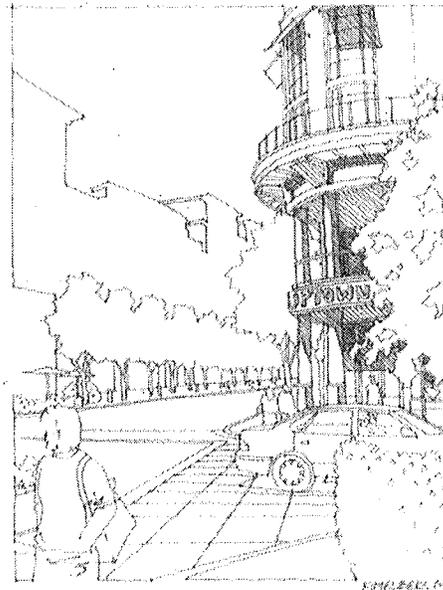
Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Uptown Supplemental Guidance:

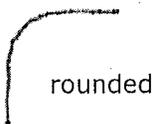
Corner Lots in Uptown

Generally, buildings within Uptown should meet the corner and not be set back. Building designs and treatments as well as any open space areas should address the corner and promote activity. Corner entrances are strongly encouraged, where feasible.

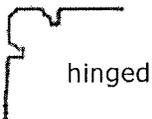
Corner lots are often desirable locations for small publicly-accessible plazas, turrets, clock towers, art, and other special features. Design corner retail entries to not disrupt access to residential uses above.



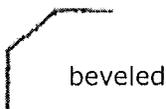
Strong corner massing can function as the visual anchor for a block.



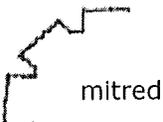
rounded



hinged



beveled

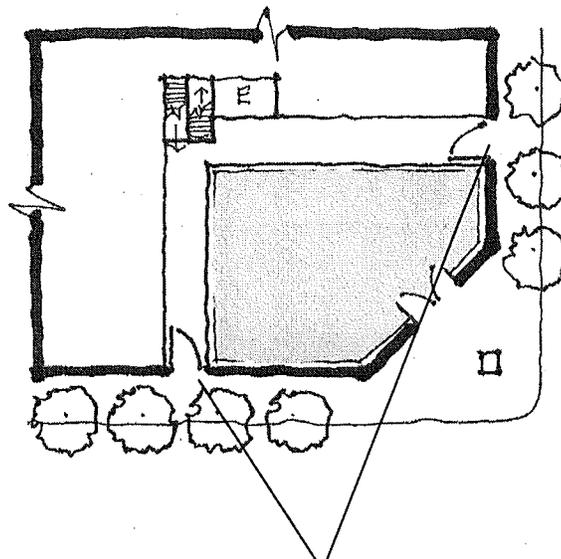


mitred



open bay with bevel

Corner treatment options.



Residential Entrances

Retail and residential entrances are carefully placed.

B. Height, Bulk and Scale

B-1 Height Bulk and Scale Compatibility

Projects should be compatible with the scale and development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

Uptown Supplemental Guidance:

Throughout Uptown, a departure would be supported for 3' of additional height for projects that step back the top floor of the structure a minimum of 6' from the street. This has the effect of reducing the impact of the structure height on the sidewalk below as well as reducing the length of shadows over the street. Where the Code regulates podium height, the additional 3' applies to the podium.

In the **Heart of Uptown** character area, break facades into smaller massing units. Encourage a horizontal rhythm in the range of 30' to 60', in keeping with a main street scale, particularly at street level.

In the **Uptown Urban** character area larger massing units and less modulation are appropriate, provided they are carefully designed, with quality materials.



In general break down the scale and massing of larger buildings in the Heart of Uptown.



In the Uptown Urban character area, larger-massing units may be appropriate with quality materials and good design.

C. Architectural Elements and Materials

C-1 Architectural Context

New Buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Uptown Supplemental Guidance:

In the **Uptown Park** character area, extensive landscaping, the use of brick and inlaid tile as building materials and designs with an appearance of substance and quality are recommended to promote Uptown Park's desired character.

The **Uptown Park** character area emphasizes the notion of historic continuity—the relationship of built structures over time. This relationship encourages diversity of styles within a coherent whole, reinforcing the key elements of noteworthy buildings.

The **Uptown Park** and **Heart of Uptown** character districts prefer an architecture that emphasizes human scale and quality, detailing and materials, and that remains compatible with the existing community.

Generally, the following architectural features are encouraged during the design review process:

- Increased architectural detailing;
- Individualized storefronts;
- Substantial window detailing and recessed windows;
- Variations in roofline and additional roofline detailing; honest parapet lines with built-up cornice; and
- References to historic architectural styles found in the area including art deco, and the unique styling of Worlds-Fair-era Seattle.



Uptown Precedent: Design elements and materials that lend a human scale and sense of permanence.



A regular cadence of storefront windows and pilasters along the street-level facade enhances the pedestrian experience.

Features and materials that are discouraged include:

- Peaked parapets or other substantial false roofline facades;
- Large expanses of steel and glass;
- Concrete block on facade;
- Large expanses of walling with little or no detailing;
- Large expanses of stucco walling without detailing and windows;
- Synthetic stucco; and
- Flush window treatments (with little or no detailing).

Supplemental Guidance Scope

The **Uptown Urban** character area embraces high quality urban infill, and responds to special relationships with nearby civic institutions. The following features are encouraged:

- Consistent street wall;
- Engaging the sidewalk / storefront transparency;
- Building siting that responds to Seattle Center entry points;
- Defined cornices;
- High quality, durable materials;
- Distinct residential and commercial components; and
- Throughout Uptown, upper level balconies are discouraged on the street side of residential buildings. Bay windows are a preferred architectural element on the street side. This guideline is intended to avoid open displays of storage, which are sometimes an unintended consequence of street side balconies.



C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

Uptown Supplemental Guidance:

Throughout Uptown buildings and landscaping should strive to create projects with an overall neat and cohesive appearance.

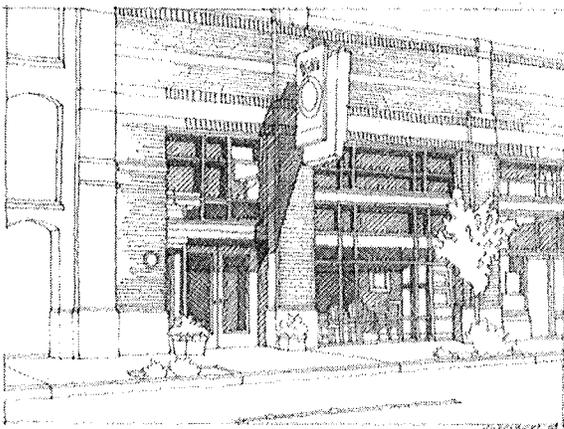
C-3 Human Scale

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

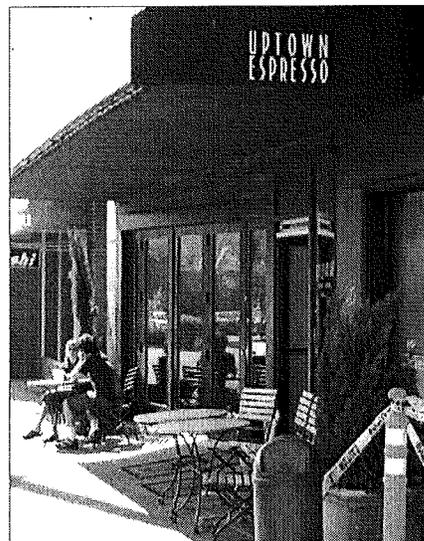
Uptown Supplemental Guidance:

Throughout Uptown human-scaled architecture is strongly preferred. Proportion should be provided by such components as the detail of windows, doorways, and entries. Appropriate scale and proportion may also be influenced by the selection of building materials.

Architectural designs that create an impression of reduced size consistent with a pedestrian-oriented environment should be encouraged, especially in the **Uptown Park** and **Heart of Uptown** character areas.



Window doorways and entrances lend a human scale to the design.



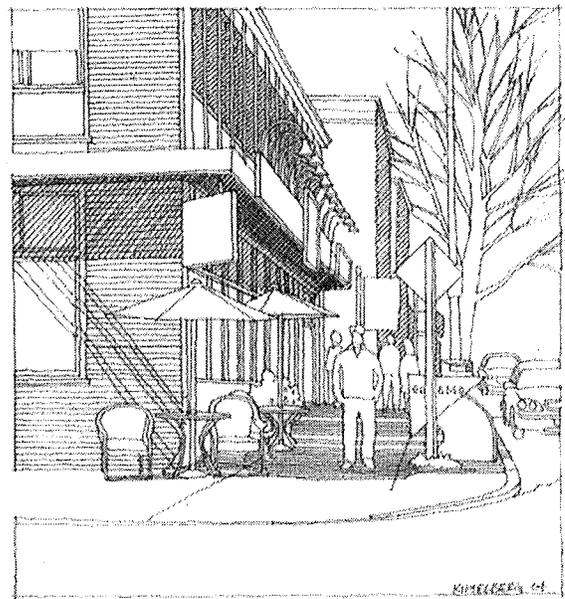
Provide overhead cover along the sidewalk for pedestrian comfort.

The use of exterior canopies or other weather protection features is favored throughout the district for residential and commercial uses. Canopies should blend well with the building and surroundings, and present an inviting less massive appearance.

Throughout Uptown size signs, exterior light fixtures, canopies and awnings to the scale of the building and the pedestrian. Signs that add creativity and individual expression to the design of storefronts are encouraged. Signs should be integrated into the overall design of the building. Signs that appear cluttered and detract from the quality of the building's design are discouraged.



Signs can provide identity and serve to unify a varied streetscape. This portion of the Uptown District's commercial core employs similarly scaled, deco vertical signs.



Pedestrian scale blade sign and drop lighting provide greater detail at the street level of a building to satisfy the pedestrian.



C-4 Exterior Finish Materials

Building materials should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

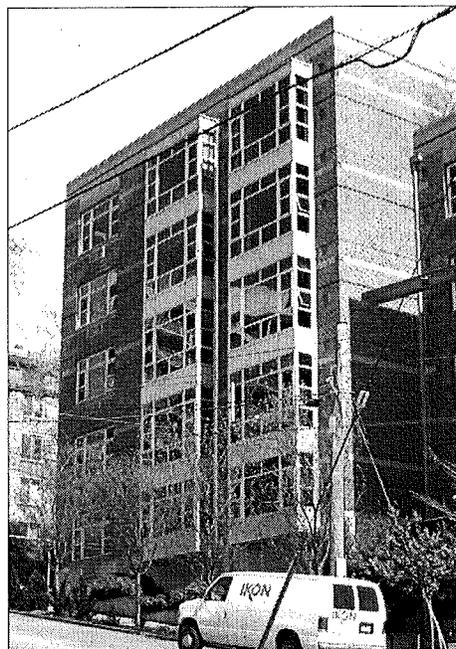
Uptown Supplemental Guidance:

Within the **Uptown Park** and **Heart of Uptown** character areas, the use of historic-looking brick and tile facades are strongly encouraged to create a more consistent, unified, and historic appearance throughout the district. The use of decorative brick facade is consistent historically within the Uptown area, with a strong concentration just north of the district across W. Mercer St. Facade detailing is strongly encouraged and buildings may incorporate both materials to provide a richer finish.

Throughout Uptown, decorative exterior treatments using brick, tile, and/or other interesting exterior finish materials are strongly preferred. Quality exterior finish materials should be incorporated at all levels and on all exterior walls. Use materials, colors, and details to unify a building's appearance; buildings and structures should be built of compatible materials on all sides.



Decorative brick facades are important historic features in Uptown.



Example of a new building that respects the surrounding character by incorporating high-quality materials such as brick and masonry lintels.

D. Pedestrian Environment

D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Uptown Supplemental Guidance:

Throughout Uptown entries should be designed to be pedestrian friendly (via position, scale, architectural detailing, and materials) and should be clearly discernible to the pedestrian.

Individual or unit entrances in buildings that are accessed from the sidewalk or other public spaces should consider appropriate designs for defensible space as well as safety features (e.g., decorative fencing and gating). Landscaping should be consistent with these features.

Throughout Uptown special attention to the pedestrian experience and street right-of-way should be given along **pedestrian corridors** as identified on the map (pg. VI).

Throughout Uptown the use of a pedestrian-scaled streetlamp within all character areas is encouraged. In addition, streetscape features such as street clocks and benches are encouraged in **Heart of Uptown** and **Uptown Urban** character areas.

In the **Uptown Urban** and **Heart of Uptown** character areas, encourage Seattle Center campus redevelopment along its boundaries to either open vistas from Uptown into Seattle Center or to provide activation for the street.

Including amenities for transit riders in a building's design rather than the traditional use of curbside bus shelters generates a safer and more active street. In the **Uptown Urban** and **Heart of Uptown** character areas the elimination of curbside bus shelters is encouraged in retail areas as appropriate. These boxy shelters visually obstruct storefronts and provide cover for criminal activity. Building designs are encouraged that integrate canopies to accommodate transit riders and nurture stewardship of transit stops by property owners and businesses.

Supplemental guidance related to Pedestrian Open Spaces and Entrances is provided under Guideline A2 – Streetscape Compatibility.



Pedestrian corridors into and out of Seattle Center are important.

D-2 Blank Walls

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

Uptown Supplemental Guidance:

Within the **Uptown Park** character area landscaping (e.g., trellised climbing plants and other urban greenery) is the preferred treatment for walls. Larger wall areas should include landscaped treatments at the wall or between the wall and public rights-of-way, but not in a manner that would create unsafe conditions (e.g., create hiding spaces or provide exterior access to higher floors).

In the **Uptown Urban** and **Heart of Uptown** character areas artwork and decorative surfacing may provide an alternative wall treatment to landscaping in some locations. However, painted murals are the least preferred solution to larger wall areas in Uptown.

D-3 Retaining Walls

Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where high retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscape.

Uptown Supplemental Guidance:

Throughout Uptown retaining walls should be constructed of materials that will provide substantial pattern and texture. Rockery, stone, stacked stone or concrete, or brick are preferred. Poured concrete or other smooth treatments/materials are strongly discouraged, unless treated to provide textural or design interest. Walls should be appropriately designed and scaled for the pedestrian environment. Landscaping in conjunction with retaining walls is strongly encouraged.



A retaining wall constructed with durable materials, and landscape to soften the building edge along a sloping streetscape.

D-4 Design of Parking Lots Near Sidewalks

Parking lots near sidewalks should provide adequate security and lighting, avoid encroachment of vehicles onto the sidewalk, and minimize the visual clutter of parking lot signs and equipment.

Uptown Supplemental Guidance:

In the **Uptown Urban** and **Heart of Uptown** character areas, at-grade parking lots near sidewalks are strongly discouraged.

D-5 Visual Impacts of Parking Structures

The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

Uptown Supplemental Guidance:

Throughout Uptown designs that lessen the visibility of parking structures are preferred. Garages and parking structures should, where feasible, incorporate landscaping to reduce their visual impact. Landscaping may include climbing plantings and other landscape means to reduce the impact of larger blank walls. Large, open paved drive-ways and carports are strongly discouraged. Alley access is preferred, if feasible.

Parking structures are discouraged in the **Uptown Urban** and **Heart of Uptown** character areas.



D-8 Treatment of Alleys

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Throughout Uptown ensure alleys are designed to be clean, maintained spaces. Recessed areas for recyclables and disposables should be provided.

In **Heart of Uptown** and **Uptown Urban** character areas encourage alleys to be activated with subordinate retail spaces at the mouth of the alley. Encourage retail to "turn the corner" at alley entrances.

D-9 Commercial Signage

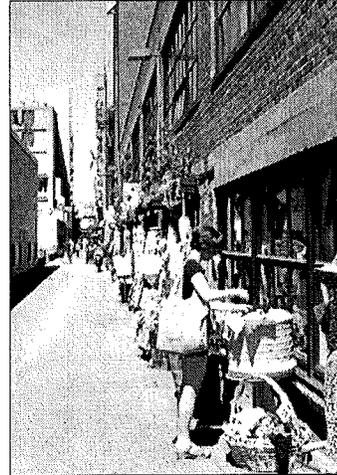
The design of alley entrances should enhance the pedestrian street front.

Throughout Uptown tasteful signs designed for pedestrians (as opposed to passing vehicles) are preferred. Backlit signs, animated reader boards and similar signs are discouraged. Blade signs, wall-mounted signs, signs below awnings, and similar signs are preferred.

D-10 Commercial Lighting

Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

Uptown accommodates shopping and eating experiences during the dark hours of the Northwest's late fall, winter, and early spring. Pedestrian area lighting is an important feature of each block in the **Uptown Urban** character area, and the **Heart of Uptown** character area.



Alleys can be activated retail spaces.

E. Landscaping

E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites

Uptown Supplemental Guidance:

Within the **Uptown Park** character area, streetscape improvements should include a consistent landscaped planting strip between the sidewalk and the street as consistent with the historic pattern in the area. New developments may take guidance from the *Uptown Park District Landscaped Streets Element* as endorsed by the Uptown Alliance, for the format of streetscape improvements.

Throughout Uptown, streetscape landscaping as per guidelines A-2 and D-1 is encouraged.

Example streetscape guidance from the *Uptown Park Landscaped Streets Element*.



E-2 Landscaping to Enhance the Building and/or Site

Landscaping, including living plant material, special pavement, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Uptown Supplemental Guidance:

Throughout Uptown, but especially within the **Uptown Park** character area, landscaping should be substantial and include a variety of textures and colors, to the extent possible. Landscaping should be used to enhance each site, including buildings, setbacks, entrances, open space areas, and to screen parking and other less visually attractive areas. Encourage planted containers at building entries.



Uptown Precedent: Intimate courtyards enhance the urban setting.



The Uptown Park District has an outstanding tradition of landscape design. Courtyards, terraces and gardens contribute to the area's setting.



A garden at the prominent corner of a new development.

This example shows how integrated landscape contributes to an attractive facade.



FISCAL NOTE FOR NON-CAPITAL PROJECTS

Department:	Contact Person/Phone:	DOF Analyst/Phone:
Planning and Development	Geoffrey Wentlandt 684-3586	Karen Grove 684-5805

Legislation Title:

An ordinance relating to land use and zoning; amending Sections 23.41.010 and 23.41.012 of the Seattle Municipal Code, approving and adopting Neighborhood Design Guidelines for the Upper Queen Anne and Uptown neighborhoods and providing for departures from development standards in the Uptown Urban Center and in Upper Queen Anne Hill Residential Urban Village and the Neighborhood Commercial zones within the Upper Queen Anne neighborhood.

• **Summary of the Legislation:**

The proposed legislation would amend the Land Use Code to add the Upper Queen Anne Neighborhood Design Guidelines and Uptown Neighborhood Design Guidelines to the list of neighborhood design guidelines that will be used to review new development in these respective neighborhoods under the City's Design Review program, implementing key strategies of the their neighborhood plans. The guidelines, through provisions for an enhanced pedestrian environment, appropriately designed streetscape, and focus on the architectural expression and character of new development will have the affect of reducing impacts on the neighborhood and promoting compatibility of new development with existing development.

• **Background:**

The City of Seattle has committed substantial time and resources to the development of a design review program that relies on clear and meaningful design guidelines. The Design Review process is based on Design Guidelines for Multifamily and Commercial Development that may be augmented by neighborhood specific design guidelines. Neighborhood design guidelines have been prepared for 17 other neighborhoods citywide to date. The Design Review Board relies upon these guidelines to review new development subject to the Design Review process and make recommendations for conditioning approval of new multifamily or commercial development.

X This legislation does not have any financial implications.





City of Seattle

Gregory J. Nickels, Mayor

Office of the Mayor

March 10, 2009

Honorable Richard Conlin
President
Seattle City Council
City Hall, 2nd Floor

Dear Council President Conlin:

The attached Council Bill would amend the Land Use Code to incorporate the Upper Queen Anne and Uptown Neighborhood Design Guidelines. When adopted, these guidelines will augment the existing design *Guidelines for Multifamily and Commercial Buildings*, bringing to nineteen the number of neighborhood-specific design guidelines to be considered for adoption by the City. These guidelines will assist the Design Review Board in evaluating the design of new buildings in the Upper Queen Anne and Uptown neighborhoods, and were requested by the neighborhoods.

Neighborhood design guidelines are a key implementation strategy of neighborhood plans. Residents, businesses, and property owners envision their neighborhood design guidelines as a means to help future development contribute to the neighborhood as a place where neighbors may meet, where local businesses thrive in a pedestrian environment, and where streets are pleasant public places. The neighborhoods anticipate that design guidelines will be an additional tool to enhance their neighborhood's intimate scale and character.

Thank you for your consideration of this legislation. Should you have questions, please contact Geoffrey Wentlandt at 684-3586 or at geoffrey.wentlandt@seattle.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Greg Nickels", written over a large, stylized circular flourish.

GREG NICKELS
Mayor of Seattle

cc: Honorable Members of the Seattle City Council

600 Fourth Avenue, 7th Floor, P.O. Box 94749, Seattle, WA 98124-4749

Tel: (206) 684-4000, TDD: (206) 684-8811 Fax: (206) 684-5360, E:mail: mayors.office@seattle.gov

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STATE OF WASHINGTON – KING COUNTY

--SS.

240127
CITY OF SEATTLE, CLERKS OFFICE

No.

Affidavit of Publication

The undersigned, on oath states that he is an authorized representative of The Daily Journal of Commerce, a daily newspaper, which newspaper is a legal newspaper of general circulation and it is now and has been for more than six months prior to the date of publication hereinafter referred to, published in the English language continuously as a daily newspaper in Seattle, King County, Washington, and it is now and during all of said time was printed in an office maintained at the aforesaid place of publication of this newspaper. The Daily Journal of Commerce was on the 12th day of June, 1941, approved as a legal newspaper by the Superior Court of King County.

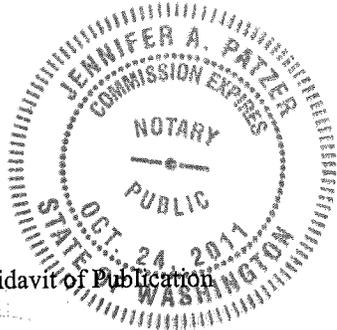
The notice in the exact form annexed, was published in regular issues of The Daily Journal of Commerce, which was regularly distributed to its subscribers during the below stated period. The annexed notice, a

CT:122994 ORDINANCE

was published on

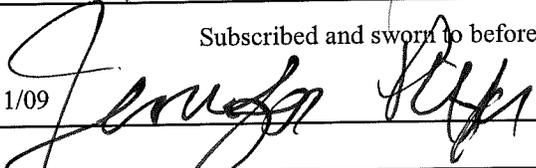
06/11/09

The amount of the fee charged for the foregoing publication is the sum of \$ 799.00, which amount has been paid in full.



Affidavit of Publication



Subscribed and sworn to before me on
06/11/09 

Notary public for the State of Washington,
residing in Seattle

State of Washington, King County

City of Seattle

ORDINANCE 122994

AN ORDINANCE relating to land use and zoning; amending Sections 23.41.010 and 23.41.012 of the Seattle Municipal Code, approving and adopting Neighborhood Design Guidelines for the Upper Queen Anne and Uptown neighborhoods and providing for departures from development standards in the Uptown Urban Center and in Upper Queen Anne Hill Residential Urban Village and the Neighborhood Commercial zones within the Upper Queen Anne neighborhood.

WHEREAS, the City's Design Review Program was approved for implementation in 1993, at which time it was contemplated that a neighborhood could develop design guidelines specific to a neighborhood's individual character, augmenting the City's Design Guidelines for Multifamily and Commercial Buildings; and

WHEREAS, neighborhood-specific design guidelines have been developed for the Upper Queen Anne and Uptown neighborhoods to carry out specific design goals identified by the neighborhoods; NOW, THEREFORE,

BE IT ORDAINED BY THE CITY OF SEATTLE AS FOLLOWS:

Section 1. Section 23.41.010 of the Seattle Municipal Code, which Section was last amended by Ordinance 122443, is amended as follows:

23.41.010 Design Review Guidelines((-))

A. The "Guidelines for Multifamily and Commercial Buildings, 1998 (Amended 2006)" and neighborhood design guidelines approved by the City Council and identified in subsection B of ((this section)) Section 23.41.010, provide the basis for Design Review Board recommendations and City design review decisions, except in Downtown, where the "Guidelines for Downtown Development, 1999" apply. Neighborhood design guidelines are intended to augment and make more specific the "Guidelines for Multifamily and Commercial Buildings, 1998 (Amended 2006)" and the "Guidelines for Downtown Development, 1999." To the extent there are conflicts between neighborhood design guidelines and the "Guidelines for Multifamily and Commercial Buildings, 1998 (Amended 2006)" or "Guidelines for Downtown Development, 1999", the neighborhood design guidelines ((shall)) prevail.

B. The following Neighborhood design guidelines are approved:

1. "University Community Design Guidelines, 2000;"
2. "Pike/Pine Urban Center Village Design Guidelines, 2000;"
3. "Roosevelt Urban Village Design Guidelines, 2000;"
4. "Ballard Municipal Center Master Plan Area Design Guidelines, 2000;"
5. "West Seattle Junction Urban Village Design Guidelines, 2001;"
6. "Green Lake Neighborhood Design Guidelines, 2001;"
7. "Admiral Residential Urban Village Design Guidelines, 2002;"
8. "South Lake Union Neighborhood Design Guidelines, 2005;"
9. "Northgate Urban Center and Overlay District Design Guidelines, 2003;"
10. "Belltown Urban Center Village Design Guidelines, 2004;"
11. "Wallingford Neighborhood Design Guidelines, 2005;"
12. "Capitol Hill Neighborhood Design Guidelines, 2005;"
13. "Greenwood/Phinney Neighborhood Design Guidelines, 2005;"
14. "Othello Neighborhood Design Guidelines, 2005;"
15. "North Beacon Hill Design Guidelines, 2006;"
16. "North District/Lake City Guidelines, 2006; ((and))
17. "Morgan Junction Neighborhood Design Guidelines, 2007((-));"
18. "Upper Queen Anne Neighborhood Design Guidelines, 2009; and
19. "Uptown Neighborhood Design Guidelines, 2009."

Section 2. Subsection B of Section 23.41.012 of the Seattle Municipal Code, which Section was last amended by Ordinance 122311, is amended as follows:

23.41.012 Development Standard Departures

B. Departures may be granted from any Land Use Code standard or requirement, except for the following:

1. Procedures;
2. Permitted, prohibited or conditional use provisions, except that departures may be granted from development standards for required Downtown street level uses;
3. Residential density limits;
4. In Downtown zones, provisions for exceeding the base FAR or achieving bonus development as provided in Chapter 23.49, Downtown Zoning;
5. In Downtown zones, the minimum size for Planned Community Developments as provided in Section 23.49.036;
6. In Downtown zones, the average floor area limit for stories in residential use in Chart 23.49.058.D.1;
7. In Downtown zones, the provisions for combined lot developments as provided in Section 23.49.041;
8. In Downtown Mixed Commercial zones, tower spacing requirements as provided in 23.49.058.E;

9. Downtown view corridor requirements, provided that departures may be granted to allow open railings on upper level roof decks or rooftop open space to project into the required view corridor, provided such railings are determined to have a minimal impact on views and meet the requirements of the Building Code;

10. Floor Area Ratios;

11. Maximum size of use;

12. Structure height, except that:

a. Within the Roosevelt Commercial Core building height departures up to an additional ((three (-)))3((-)) feet may be granted for properties zoned NC3-65', ((Exhibit 23.41.012-A Roosevelt Commercial Core)) Map A for 23.41.012 Roosevelt Commercial Core;

b. Within the Ballard Municipal Center Master Plan area building height departures may be granted for properties zoned NC3-65', ((Exhibit 23.41.012-B Ballard Municipal Center Master Plan Area)) Map B for 23.41.012 Ballard Municipal Center Master Plan Area. The additional height may not exceed ((nine (-)))9((-)) feet, and may be granted only for townhouses that front a mid-block pedestrian connection or a park identified in the Ballard Municipal Center Master Plan;

c. In Downtown zones building height departures may be granted for minor communication utilities as set forth in Section 23.57.013.B;

d. Within the Uptown Urban Center building height departures up to 3 feet of additional height may be granted if the top floor of the structure is set back at least 6 feet in addition to all required building setbacks.

e. Within the Upper Queen Anne Hill Residential Urban Village and Neighborhood Commercial zones within the Upper Queen Anne neighborhood, Map C for 23.41.012 Upper Queen Anne Commercial Areas, building height departures up to 3 feet of additional height may be granted if the top floor of the structure is set back at least 6 feet in addition to all required building setbacks;

13. Quantity of parking required, maximum parking limit in Downtown zones, and maximum number of drive-in lanes, except that within the Ballard Municipal Center Master Plan area required parking for ground level retail uses that abut established mid-block pedestrian connections through private property as identified in the "Ballard Municipal Center Master Plan Design Guidelines, 2000" may be reduced, but shall not be less than the required parking for Pedestrian-designated areas shown in Chart D for Section 23.54.015 ((Chart-D));

14. Provisions of the Shoreline District, Chapter 23.60;

15. Standards for storage of solid-waste containers;

16. The quantity of open space required for major office projects in Downtown zones as provided in Section 23.49.016.B;

17. Noise and odor standards;

18. Standards for the location of access to parking in Downtown zones;

19. Provisions of Chapter 23.52, Transportation Concurrency Project Review System;

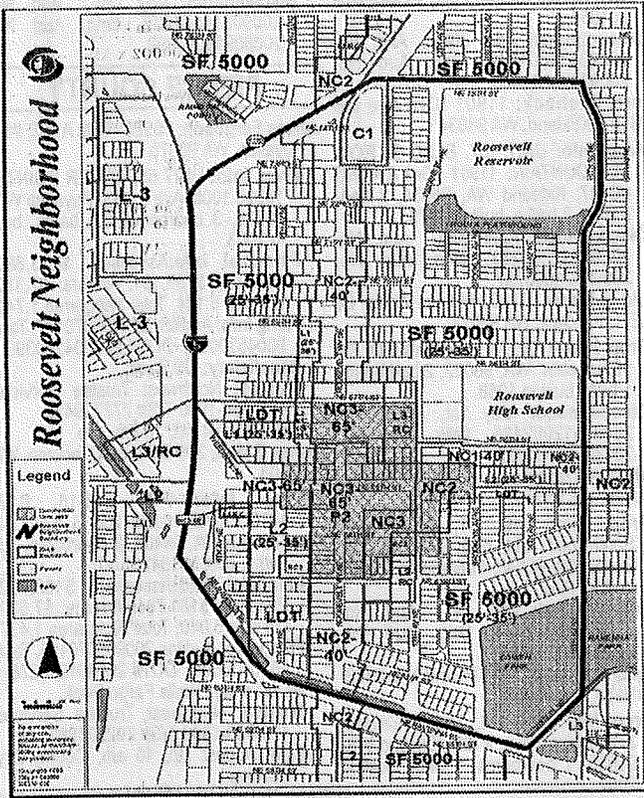
20. Provisions of Chapter 23.53, Requirements for Streets, Alleys and Easements, except that departures may be granted from the access easement standards in Section 23.53.025 and the provisions for structural building overhangs in Section 23.53.035;

21. Definitions; and

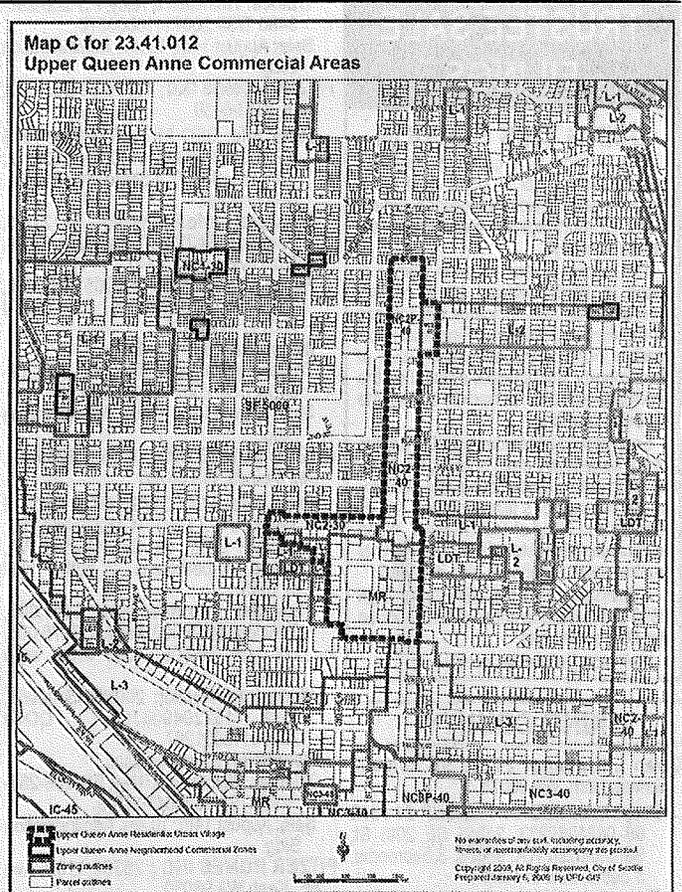
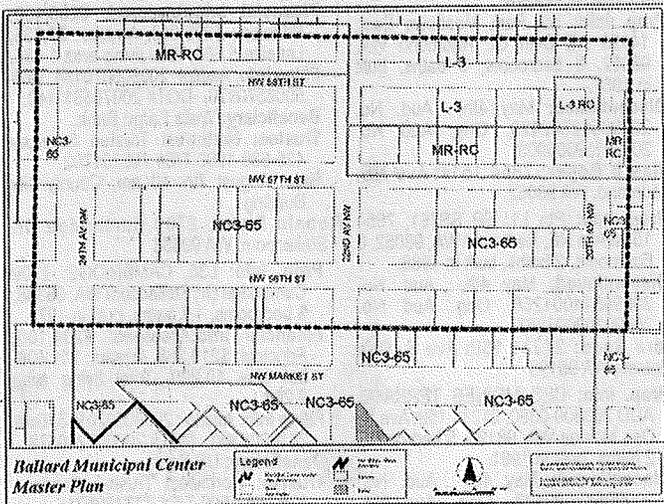
22. Measurements.

22. HEADLINE

((Exhibit 23-41-012 A)) Map A for 23.41.012
Roosevelt Commercial Core



((Exhibit 23-41-012B)) Map B for 23.41.012
Ballard Municipal Center Master Plan Area



Section 3. The provisions of this ordinance are declared to be separate and severable. The invalidity of any particular provisions shall not affect the validity of any other provision.

Section 4. This ordinance shall take effect and be in force thirty (30) days from and after its approval by the Mayor, but if not approved and returned by the Mayor within ten (10) days after presentation, it shall take effect as provided by Municipal Code Section 1.04.020.

Passed by the City Council the 1st day of June, 2009, and signed by me in open session in authentication of its passage this 1st day of June, 2009.

Richard Conlin
President of the City Council
Approved by me this 4th day of June, 2009.
Gregory J. Nickels, Mayor
Filed by me this 8th day of June, 2009.

(Seal) Judith Pippin
City Clerk

Attachment 1: Upper Queen Anne Neighborhood Design Guidelines

Attachment 2: Uptown Neighborhood Design Guidelines

Publication ordered by JUDITH PIPPIN, City Clerk

Date of publication in the Seattle Daily Journal of Commerce, June 11, 2009.

6/11(240127)