

Ordinance No. 121759

Council Bill No. 115170

An ordinance relating to land use and zoning; amending Section 23.41.010 of the Seattle Municipal Code, approving and adopting the Wallingford Neighborhood Design Guidelines.

CF No. _____

Date Introduced: FEB 07 2005		
Date 1st Referred: FEB 07 2005	To: (committee) Urban Development & Planning	
Date Re - Referred:	To: (committee)	
Date Re - Referred:	To: (committee)	
Date of Final Passage: 3-28-05	Full Council Vote: 8-0	
Date Presented to Mayor: 3-29-05	Date Approved: 4/6/05	
Date Returned to City Clerk: 4/7/05	Date Published: 289	T.O. _____ F.T. <input checked="" type="checkbox"/>
Date Vetoed by Mayor:	Date Veto Published:	
Date Passed Over Veto:	Veto Sustained:	

The City of Seattle - Legislative Department

Council Bill/Ordinance sponsored by: Peter Stanbury

Councilmember

Committee Action:

Reload 1/2 Do Pass as Amended

3-0

PS, TR, RL

3-28-05 Passed 8-0 (Excused: Compton)

This file is complete and ready for presentation to Full Council. Committee: _____ (initial/date)

Law Department

Law Dept. Review

OMP Review

^{BMS}
City Clerk Review

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ORDINANCE 121759

1
2 AN ORDINANCE relating to land use and zoning; amending Section 23.41.010 of the
3 Seattle Municipal Code, approving and adopting the Wallingford Neighborhood
4 Design Guidelines.

5 WHEREAS, the City's Design Review Program was approved for implementation in
6 1993, at which time it was contemplated that a neighborhood could develop
7 design guidelines specific to a neighborhood's individual character, augmenting
8 the City's Design Guidelines for Multifamily and Commercial Buildings; and

9 WHEREAS, neighborhood-specific design guidelines have been developed for the
10 Wallingford neighborhood to carry out specific design goals identified by the
11 neighborhood; NOW, THEREFORE,

12 **BE IT ORDAINED BY THE CITY OF SEATTLE AS FOLLOWS:**

13 Section 1. Section 23.41.010 of the Seattle Municipal Code, which Section was
14 last amended by Council Bill 114668, is amended as follows:

15 **23.41.010 Design review guidelines.**

16 A. The "Guidelines for Multifamily and Commercial Buildings, 1998" and
17 neighborhood design guidelines approved by the City Council and identified in
18 subsection B of this section, provide the basis for Design Review Board
19 recommendations and City design review decisions, except in Downtown, where the
20 "Guidelines for Downtown Development, 1999" apply. Neighborhood design guidelines
21 are intended to augment and make more specific the "Guidelines for Multifamily and
22 Commercial Buildings, 1998" and the "Guidelines for Downtown Development, 1999."
23 To the extent there are conflicts between neighborhood design guidelines and the
24 "Guidelines for Multifamily and Commercial Buildings, 1998" or "Guidelines for
25 Downtown Development, 1999," the neighborhood design guidelines shall prevail.

26 B. The following Neighborhood design guidelines are approved:

- 27 1. "University Community Design Guidelines, 2000;"
- 28 2. "Pike/Pine Urban Center Village Design Guidelines, 2000;"
3. "Roosevelt Urban Village Design Guidelines, 2000;"



- 1 4. "Ballard Municipal Center Master Plan Area Design Guidelines, 2000;"
- 2 5. "West Seattle Junction Urban Village Design Guidelines, 2001;"
- 3 6. "Green Lake Neighborhood Design Guidelines, 2001;"
- 4 7. "Admiral Residential Urban Village Design Guidelines, 2002;"
- 5 8. "South Lake Union Urban Village Design Guidelines, 2003;
- 6 9. "Northgate Urban Center and Overlay District Design Guidelines,
- 7 2003;"
- 8 10. Belltown Neighborhood Design Guidelines, 2004; and
- 9 11. Wallingford Neighborhood Design Guidelines, 2005.

10 Section 2. This ordinance shall take effect and be in force thirty (30) days from
11 and after its approval by the Mayor, but if not approved and returned by the Mayor within
12 ten (10) days after presentation, it shall take effect as provided by Municipal Code
13 Section 1.04.020.

14 Passed by the City Council the 28th day of March, 2005, and signed by me
15 in open session in authentication of its passage this 28th day of March, 2005.

17 J. Landrigo
18 President _____ of the City Council

19 Approved by me this 6th day of April, 2005.
20 Gregory J. Nickels
21 Gregory J. Nickels, Mayor

22 Filed by me this 7th day of April, 2005.
23 Judith Esteppe
24 City Clerk

25 (Seal)

26 Attachment 1: Wallingford Neighborhood Design Guidelines





City of Seattle

Gregory J. Nickels, Mayor

Office of the Mayor

September 21, 2004

Honorable Jan Drago
President
Seattle City Council
City Hall, 2nd Floor

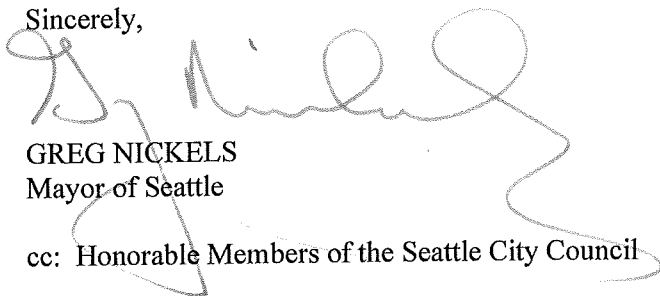
Dear Council President Drago:

I am pleased to transmit the attached Council Bill, which will amend the Land Use Code to incorporate the Wallingford Neighborhood Design Guidelines. The Wallingford Neighborhood Design Guidelines are the eleventh set of neighborhood-specific design guidelines to be considered for adoption by the City. When adopted, these guidelines will augment the existing design *Guidelines for Multifamily and Commercial Buildings* and will assist the Design Review Board in evaluating the design of new buildings in the Wallingford neighborhood.

The Wallingford Neighborhood Design Guidelines are an important component of the Wallingford Neighborhood Plan. Residents, businesses, and property owners in the Wallingford neighborhood outlined a vision to guide the future development of the neighborhood as a place where neighbors may meet, where local businesses thrive in a pedestrian environment, and where streets are pleasant public places. The neighborhood anticipates that design guidelines will be an additional tool to enhance the neighborhood's intimate scale and historic character.

Thank you for your consideration of this legislation. Should you have questions, please contact John Skelton at 233-3883.

Sincerely,

A handwritten signature in blue ink, appearing to read "Greg Nickels", written over a large, light-colored scribble or watermark.

GREG NICKELS
Mayor of Seattle

cc: Honorable Members of the Seattle City Council

600 Fourth Avenue, 7th Floor, P.O. Box 94749, Seattle, WA 98124-4749

Tel: (206) 684-4000, TDD: (206) 684-8811 Fax: (206) 684-5360, E-mail: mayors.office@seattle.gov

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FISCAL NOTE FOR NON-CAPITAL PROJECTS

Department:	Contact Person/Phone:	DOF Analyst/Phone:
Planning and Development	John Skelton/233-3883	Barbara Gangwer/615-0768

Legislation Title:

An ordinance relating to land use and zoning; amending Section 23.41.010 of the Seattle Municipal Code, approving and adopting the Wallingford Neighborhood Design Guidelines.

Summary of the Legislation:

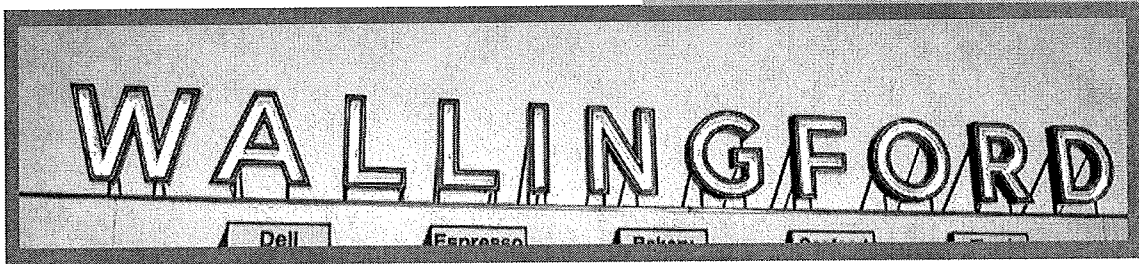
The proposed legislation would amend the Land Use Code to add the Wallingford Neighborhood Design Guidelines to the list of neighborhood design guidelines that will be used to review new development in the Wallingford neighborhood under the City's Design Review program, implementing a key strategy of the Wallingford Neighborhood Plan. The guidelines, through provisions for an enhanced pedestrian environment, appropriately designed streetscape, and focus on the architectural expression and character of new development will have the affect of reducing impacts on the neighborhood and promoting compatibility of new development with existing development where the neighborhood context is a positive expression of the neighborhood's vision.

Background:

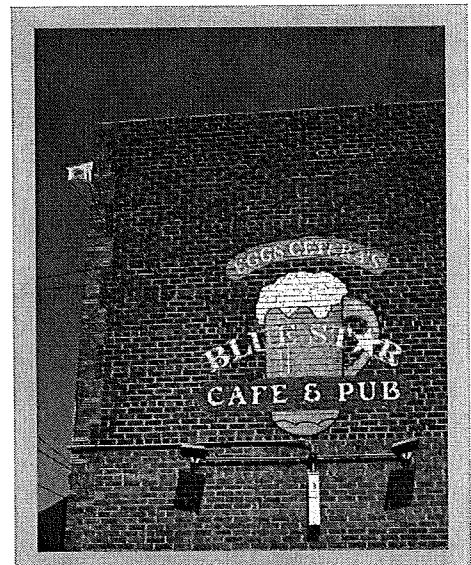
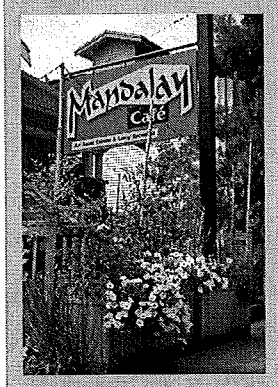
The City of Seattle has committed substantial time and resources to the development of a design review program that relies on clear and meaningful design guidelines. The Design Review process is based on Design Guidelines for Multifamily and Commercial Development that may be augmented by neighborhood specific design guidelines. Neighborhood design guidelines have been prepared for ten other neighborhoods citywide or are in the development or approval process. The Design Review Board relies upon these guidelines to review new development subject to the Design Review process and make recommendations for conditioning approval of new multifamily or commercial development.

X This legislation does not have any financial implications.





Neighborhood Design Guidelines



Attachment 1



Proposed March 2005



Wallingford Neighborhood Design Guidelines

This chapter is a detailed outline of the design features that residents and business owners believe can enhance the unique and special character of Wallingford. Projects requiring design review will be evaluated for consistency with the Wallingford Neighborhood Design Guidelines in this handbook as well as the Citywide Design Guidelines. Applicants are encouraged to consider the Wallingford-specific supplemental guidance under the following guidelines.



Site Planning

responding to site characteristics

Code Departures

Under SMC 23.41.012 the City may grant departures for certain development requirements. Departures are appropriate within the Wallingford neighborhood. In particular, departures are favored if they facilitate design that encourages pedestrian activity within the Wallingford retail core or reinforce the identity or character of the neighborhood.

Enhanced Citywide Design Guidelines

Note: The guidelines are numbered to correspond to the Citywide Design Guidelines (A-1, A-2, etc.). A gap in the numerical sequence means there are no specific neighborhood design guidelines for that particular Citywide Guideline.

Area of Coverage

The Wallingford Design Guidelines apply to projects within the Wallingford Design Review Area depicted in the map on the following page.

A. Site Planning

A-1 Responding to Site Characteristics

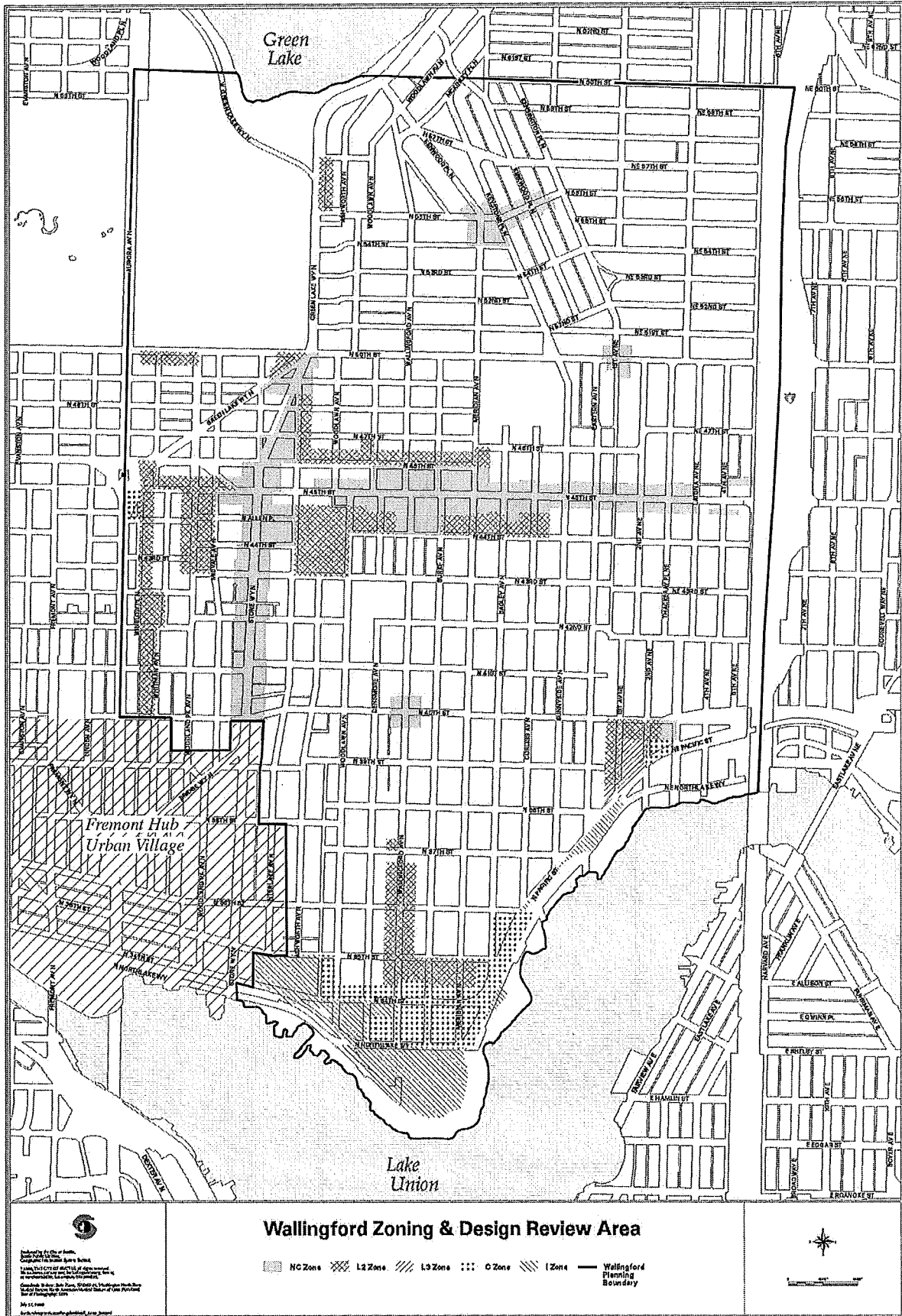
The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

Wallingford-specific supplemental guidance

- Upper level building setbacks and setbacks along the building base are encouraged to help minimize shadow impacts on public sidewalks.
- Design public and private outdoor spaces to take advantage of sun exposure.
- Development along North 45th Street, Stone Way North and other north-south streets south of North 40th Street with water, mountain and skyline views should use setbacks to complement and preserve such views from public right-of-ways.

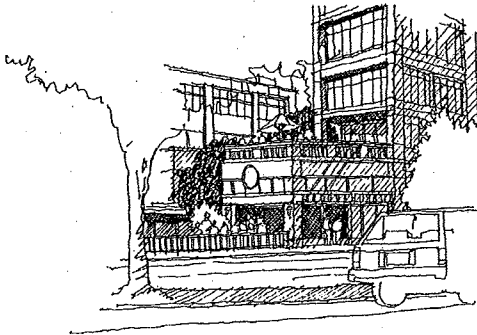


An example of upper level setbacks.



Note: Design Review does not apply to all zones. See Citywide Guidelines for details. Additionally, zoning areas on this map are for general reference only. For confirmation of a specific property's zoning, contact the Department of Planning and Development.





Setbacks for activity to take advantage of sun exposure.



Site Planning

reinforce existing
streetscape
characteristics

A-2 Reinforce Existing Streetscape Characteristics

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Wallingford-specific supplemental guidance

- Visually reinforce the existing street storefronts by placing horizontal or vertical elements in a line corresponding with the setbacks and façade elements of adjacent building fronts. These could include trees, columns, windows, planters, benches, overhead weather protection, cornices or other building features.
- Visually reinforce the existing street wall by using paving materials that differentiate the setback area from the sidewalk.

A-3 Make Entry Clearly Identifiable from the Street

Entries should be clearly identifiable and visible from the street.

Wallingford-specific supplemental guidance

- Primary business and residential entrances should be oriented to the commercial street (for development along North 45th Street and Stone Way North).

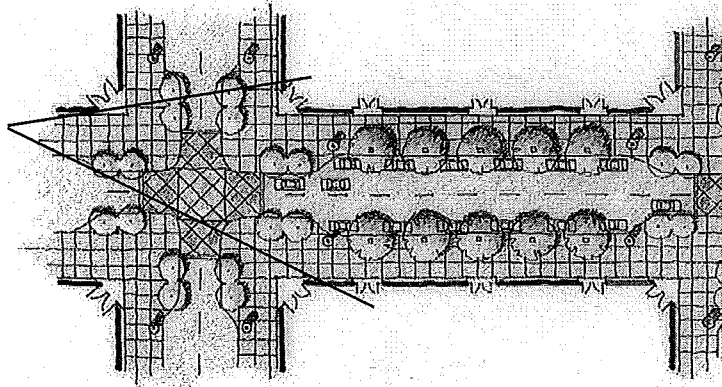


Site Planning

entries visible from the street

human activity

Entries oriented to a commercial street

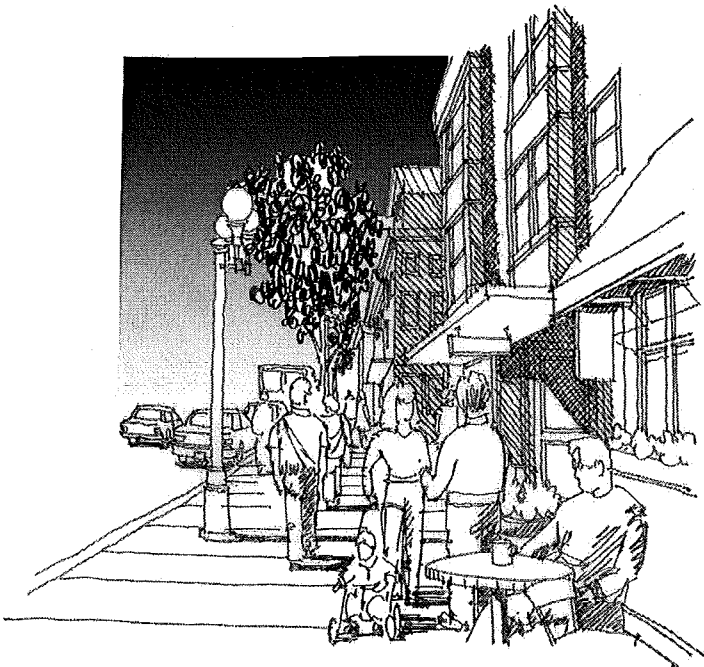


A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

Wallingford-specific supplemental guidance

- If not already required by code for new development, applicants are encouraged to increase the ground level setback in order to accommodate pedestrian traffic and amenity features, particularly along North 45th Street, where existing sidewalks tend to be too narrow.
- Outdoor dining, indoor-outdoor commercial/retail space, balconies, public plazas and outdoor seating are particularly encouraged on lots located on North 45th Street and Stone Way North.



The building in the foreground is set back to provide outdoor seating and pedestrian traffic on a retail street.



A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Wallingford-specific supplemental guidance

Maximize open space opportunity at grade (residential or mixed-use projects):

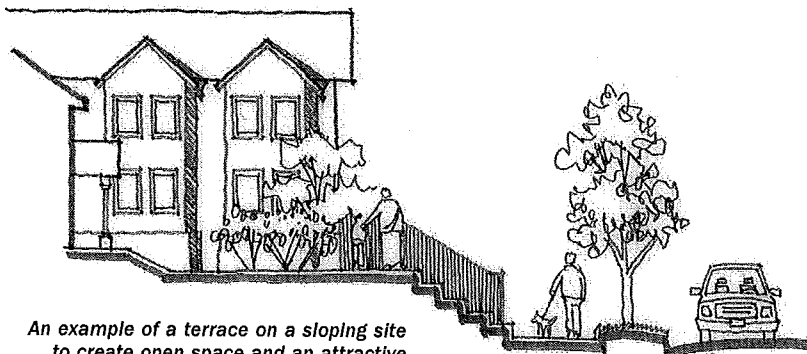
- Terraces on sloping land that create level yard space, courtyards and front and/or rear yards are all encouraged residential open space techniques.
- Make use of the building setbacks to create public open space at grade. Open spaces at grade that are 20 x 20 feet or larger and include significant trees are encouraged in exchange for landscape departures.



Site Planning

residential
open space

parking and
vehicle access



An example of a terrace on a sloping site to create open space and an attractive transition from the building to the street.

A-8 Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Wallingford-specific supplemental guidance

- Structured parking entrances should be located on side streets or alleys.
- Drive-in facilities whose driveways enter or exit over the main frontage sidewalk are discouraged.

A-9 Location of Parking on Commercial Street Fronts

Parking on a commercial street front should be minimized and where possible, parking should be located behind a building.

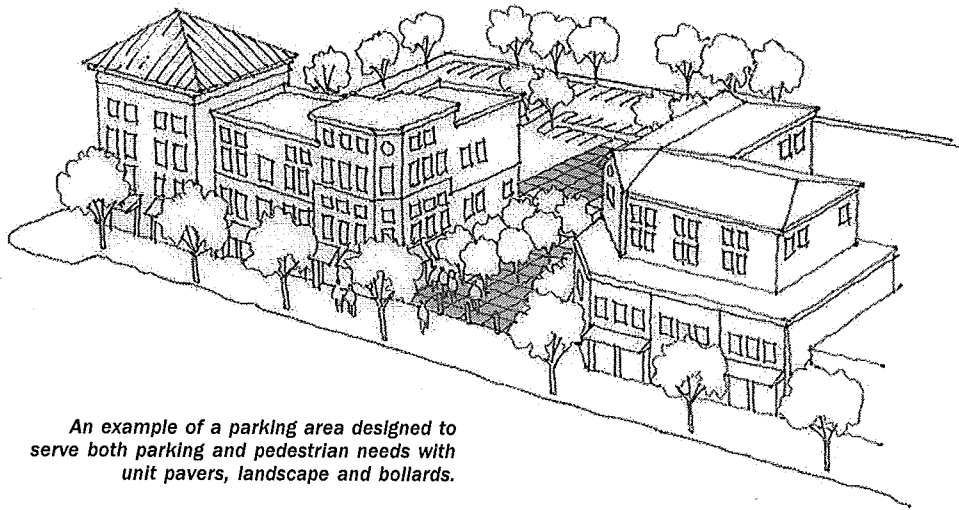
Wallingford-specific supplemental guidance

- Surface parking areas facing the main street frontages are discouraged.
- Multi-purpose parking areas paved with unit pavers are encouraged (i.e., areas that serve both parking and public open space needs).



Site Planning

location of parking
corner lots



An example of a parking area designed to serve both parking and pedestrian needs with unit pavers, landscape and bollards.

A-10 Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Wallingford-specific supplemental guidance

- Buildings on corner lots should be oriented to the corner. Parking and vehicle access should be located away from the corner.
- Provide definition at main gateways to Wallingford (North 45th Street and I-5; North 45th Street and Stone Way North; and Stone Way North and Bridge Way North). Redevelopment of lots at these intersections should include special features that signal and enhance the entrance to the Wallingford neighborhood including a tower, fountain, statue or other expression of local creativity that provides a physical transition for motorists and pedestrians and communicates "Welcome to Wallingford."
- Provide definition at other main intersections.
- Developers are encouraged to propose larger setbacks to provide for wider sidewalks or plazas and to enhance view corridors at gateway intersections in consideration for departures from lot coverage or landscaping requirements.

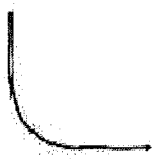
- Typical corner developments should provide:

- a main building entrance located at corner;
- an entrance set back to soften corner and enhance pedestrian environment; and
- use of a hinge, bevel, notch, open bay or setback in the massing to reflect the special nature of the corner and draw attention to it. (Example: Julia's open bay with bevel.)

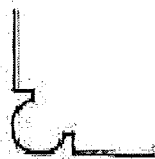


Site Planning

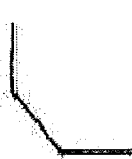
corner lots



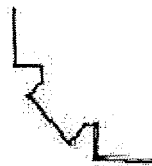
radius



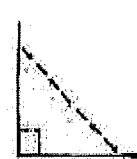
hinged



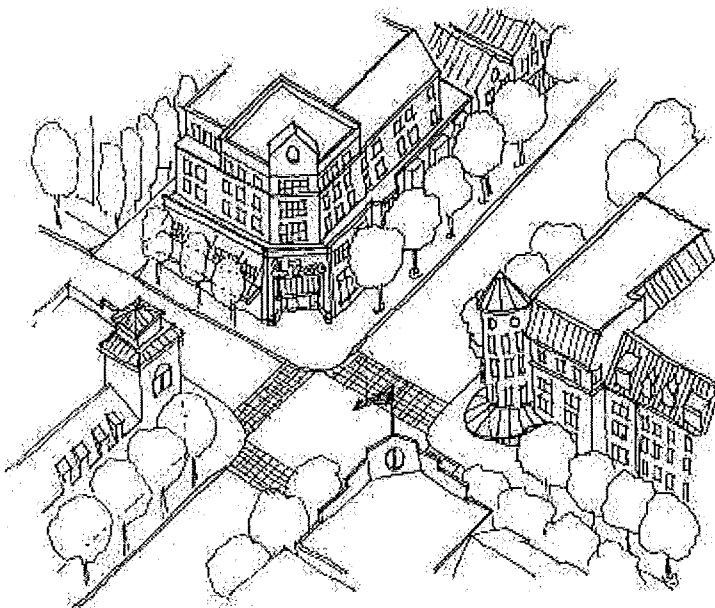
beveled



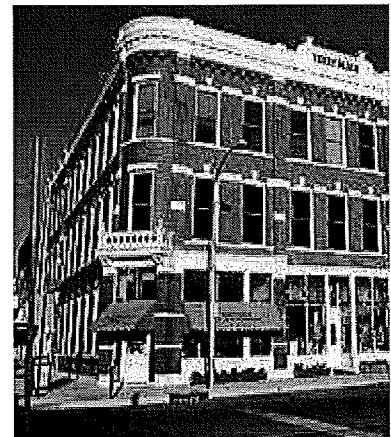
mitred



open bay with bevel



Building design providing definition to the corner.



B. Height, Bulk and Scale

B-1 Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.



Height, Bulk and Scale

height, bulk and scale compatibility

Wallingford-specific supplemental guidance

- Cornice and roof lines should respect the heights of surrounding structures.
- Traditional architectural features such as pitched roofs and gables are encouraged on residential project sites adjacent to single-family and low-rise zones.
- To protect single-family zones, consider providing upper level setbacks to limit the visibility of floors that are above 30 feet.
- Consider dividing building into small masses with variation of building setbacks and heights in order to preserve views, sun and privacy of adjacent residential structures and sun exposure of public spaces, including streets and sidewalks.

existing residential



An example of massing, roof forms and elements such as dormers on new multifamily development to create scale compatibility with adjacent residential areas.

- For developments exceeding 180 feet in length, consider creating multiple structures with separate circulation cores.
- Color schemes should help reduce apparent size and bulk of buildings and provide visual interest. White, off-white and pinky-beige buff on portions of buildings over 24 feet tall is discouraged.
- Consider additional setbacks, modulation and screening to reduce the bulk where there are abrupt changes which increase the relative height above grade along the street or between zones.

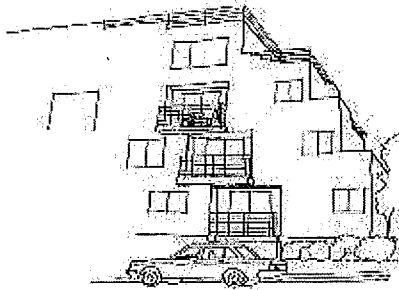
Be sensitive to public views on North 45th Street, Stone Way North and north-south avenues south of North 40th Street:

- Consider stepping back floors five feet per floor.
- Notching or setbacks at corners of buildings or ground floors are encouraged.

B

Height, Bulk and Scale

height, bulk and scale compatibility



An example of stepping back each floor.



Corner building setback.

C. Architectural Elements and Materials

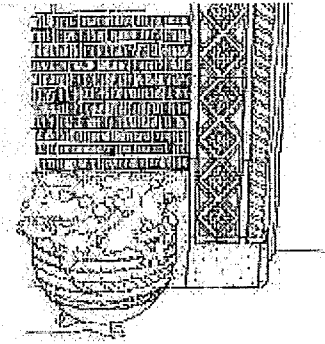
C-1 Architectural Context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Wallingford-specific supplemental guidance

Complement positive existing character and/or respond to nearby pre-World War II structures. Traditional early 20th Century commercial structures are primarily one story high and include:

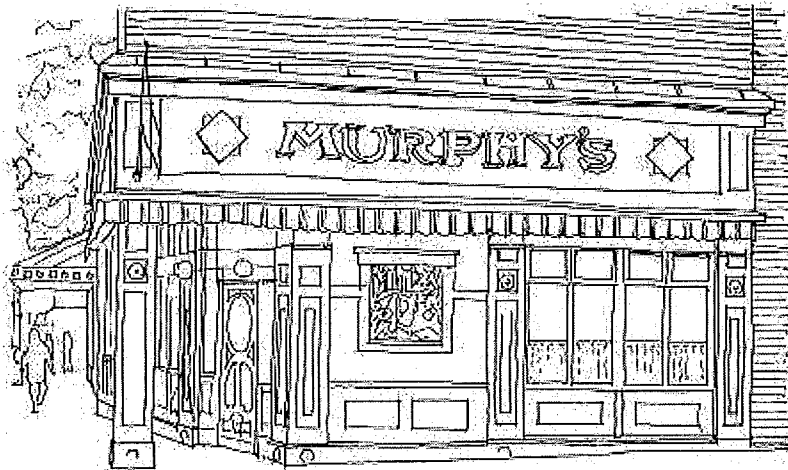
- solid kick panels below windows
- large storefront windows
- multi-pane or double hung windows with transoms or clerestories lites
- high level of fine grained detailing and trim
- high quality materials, such as brick and terra-cotta
- canopies
- variable parapets
- cornices



Architectural Elements and Materials

architectural context

New buildings should strive for a contextual approach to design. A contextual design approach is not intended to dictate a historicist approach, but rather one that is sensitive to surrounding noteworthy buildings and style elements.



An example of traditional storefront design found in Wallingford. Large windows and details provide interest and human scale at the street.

Base

- Ground floors or bases immediately next to pedestrians should reflect a higher level of detail refinement and high quality materials.
- Encourage transparent, open facades for commercial uses at street level (as an example, windows that cover between 50-80 percent of the ground floor façade area and begin approximately 24 to 30 inches above the sidewalk rather than continuing down to street level).

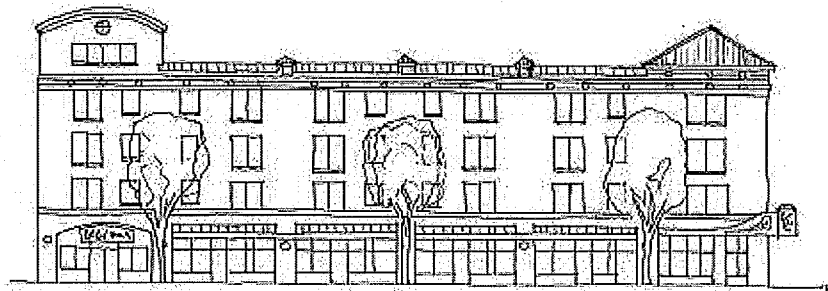
Middle

- Mid-level building façade elements should be articulated to provide visual interest on a bay-by-bay scale. Architectural features should include: belt courses or horizontal bands to distinguish individual floors; change in materials and color and/or texture that enhance specific form elements or vertical elements of the building; a pattern of windows; and/or bay windows to give scale to the structure.
- Consider using detail elements such as a cast stone, tile or brick pattern that respond to architectural features on existing buildings.
- Consider using spacing and width of bays or pavilions to provide intervals in the façade to create scale elements similar to surrounding buildings.



Architectural Elements and Materials

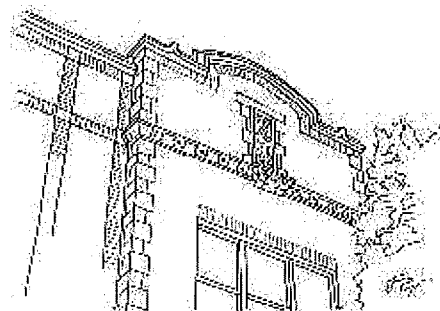
architectural context



An example of a well-composed mixed-use building that reflects the change in use from commercial at the ground floor to residential above with horizontal lines, architectural details and fenestration patterns.

Top

- Clearly distinguish tops of buildings from the façade walls by including detail elements consistent with the traditional neighborhood buildings such as steep gables with overhangs, parapets and cornices.



C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its façade walls.

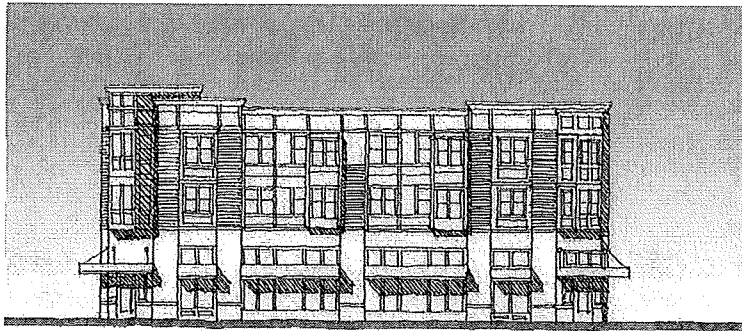
Wallingford-specific supplemental guidance

- The massing of large buildings should reflect the functions of the building and respond to the scale of traditional buildings by including major façade elements, which help to break the building into smaller pieces with distinctive appearances.
- Rooftop building systems (i.e., mechanical and electrical equipment, antennas) should be screened from all key observation points by integrating them into the building design with parapets, screens or other methods.
- Illuminate distinctive features of the building, including entries, signage, canopies, and areas of architectural detail and interest. Encourage pedestrian scale pole lights along streets and walks.



Architectural Elements and Materials

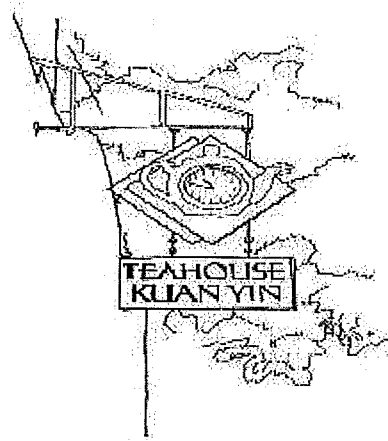
architectural concept and consistency



Elements such as bay windows and cornice lines help to establish the building's overall appearance based on a human scale set of proportions.

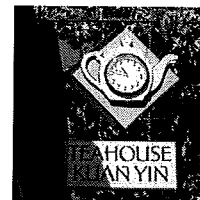
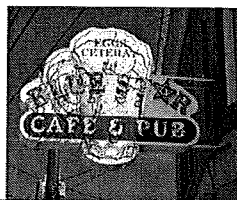
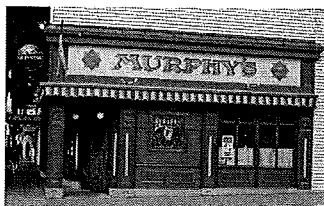
Signage:

- Signage should reflect the pedestrian scale of the neighborhood.
- Generally, individualized, externally illuminated signs are preferred over internally illuminated, rectangular box signs.
- Signage should be integrated with the architectural concept of the development in scale, detailing, use of color and materials, and placement.
- Creative, detailed, artistic and unique signage is encouraged.
- The use of icons, symbols, graphic logos or designs that represent a service or occupation are preferable to standardized corporate logos.
- Pole signs of any type are discouraged.



**Architectural
Elements and
Materials**

architectural
concept and
consistency



C-3 Human Scale

The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

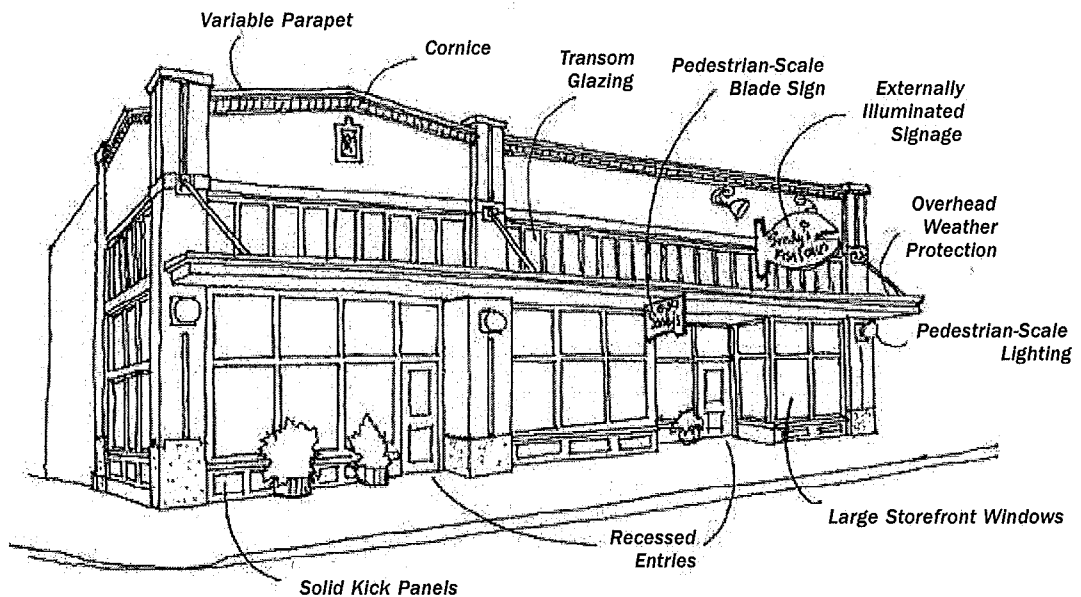
Wallingford-specific supplemental guidance

- Transom or clerestory windows above entrances, display windows and projected bay windows are encouraged.
- Multiple paned windows that divide large areas of glass into smaller parts are preferred because they add human scale.



Architectural Elements and Materials

human scale



Use durable, attractive and well-detailed finish materials:

- Finish materials that are susceptible to staining, fading or other discoloration are strongly discouraged.
- Encourage the use of brick.
- Discourage aluminum and vinyl siding, and siding with narrow trim.



D. Pedestrian Environment

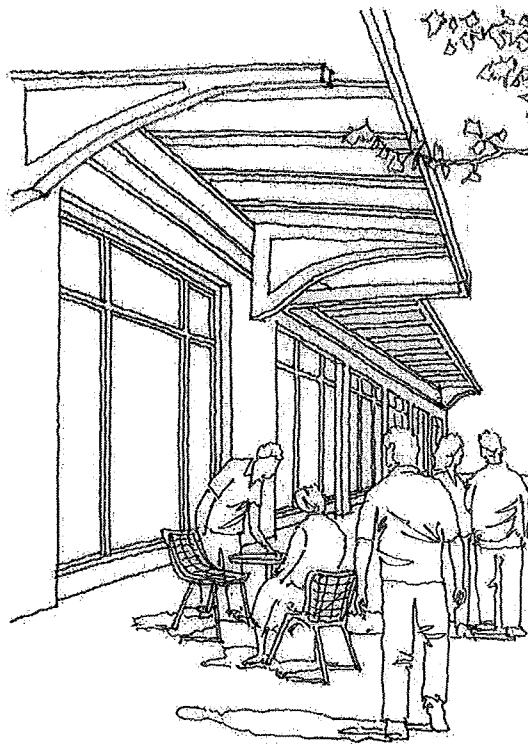
D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Wallingford-specific supplemental guidance

Provide convenient, attractive and protected pedestrian entry for both business and upper story residential uses.

- Entries for residential uses on the street (rather than from the rear of the property) add to the activity on the street and allow for visual surveillance for personal safety.
- Continuous, well-lighted, overhead weather protection is strongly encouraged to improve pedestrian comfort and to promote a sense of security.
- Overhead weather protection should be designed with consideration of:
 - a. the overall architectural concept of the building;
 - b. uses occurring within the building (such as entries and retail spaces) or in the adjacent streetscape environment (such as bus stops and intersections);
 - c. minimizing gaps in coverage, except to accommodate street trees;
 - d. a drainage strategy that keeps rain water off the street-level façade and sidewalk;
 - e. relationship to architectural features and elements on adjacent development, especially if abutting a building of historic or noteworthy character;
 - f. the scale of the space defined by the height and depth of the weather protection;
 - g. the illumination of light colored undersides to increase security after dark.



Overhead weather protection should be scaled in height and depth to provide pedestrian comfort and encourage activity.



Pedestrian Environment

open spaces and entrances

D-2 Blank Walls

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

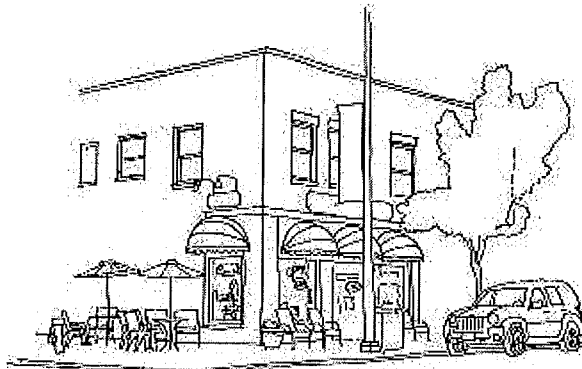
Wallingford-specific supplemental guidance

- Long, undifferentiated surfaces, facades or store frontages are strongly discouraged.
- In situations where blank walls are necessary, encourage their enhancement with decorative patterns, murals or other treatment.
- Locate and design ground floor windows to maximize transparency of commercial façade and attract pedestrian interest.
- Large windows that open to facilitate indoor-outdoor interaction with street are encouraged.
- Windows on walls perpendicular to the street are encouraged.



Pedestrian Environment

blank walls



Wrapping a street level facade around the corner is encouraged.

D-3 Retaining Walls

Minimize the height of retaining walls.

- Where retaining walls are unavoidable, a textured surface, inlaid material and/or sensitively designed reveal lines are encouraged.

D-4 Design of Parking Lots Near Sidewalks

Parking lots near sidewalks should provide adequate security and lighting, avoid encroachment of vehicles onto the sidewalk, and minimize the visual clutter of parking lot signs and equipment.

Wallingford-specific supplemental guidance

Minimize visual and physical intrusion of parking lots on pedestrian areas.

- Narrower curb cut widths are generally supported.
- Combine arcade or colonnade with landscaping to separate parking areas from sidewalks.

D-7 Personal Safety and Security

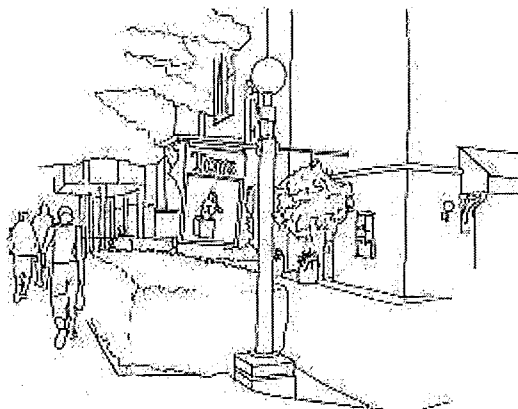
Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Wallingford-specific supplemental guidance

- In residential projects, discourage solid fences that reduce security and visual access from streets.

Lighting:

- Encourage pedestrian-scale lighting, such as a 12- to 15-foot-high pole or bollard fixtures.
- Consider installing lighting in display windows that illuminates the sidewalk.
- Fixtures that produce glare or that spill light to adjoining sites, such as "wall-packs," are discouraged.
- Installation of pedestrian light fixtures as part of a development's sidewalk improvements is strongly encouraged. The style of light fixture should be consistent with the preference identified by Wallingford through Seattle City Light's pedestrian lighting program.



Pedestrian Environment

design of parking lots near sidewalks

personal safety and security

E. Landscaping

E-1 Reinforce Existing Landscape Character of Neighborhood

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Wallingford-specific supplemental guidance

- Flower boxes on windowsills and planters at entryways are encouraged.
- Greening of streets lacking trees, flowers and landscaping is strongly recommended.



Landscaping

reinforce existing character of the neighborhood



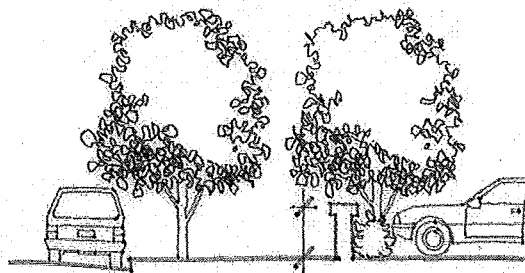
Planters at an entryway soften the street edge and add a welcoming entry to the building.

E-2 Landscaping to Enhance the Building and/or Site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Wallingford-specific supplemental guidance

- Thick evergreen hedges, non-invasive vines on fencing or low walls, and other substantial landscaping should be used to visually and physically buffer sidewalks and adjacent buildings from parking areas; camouflage exposed concrete walls; and buffer adjacent single-family houses and residential developments.



A low wall, landscape, and a second row of street trees buffer adjacent uses, such as parking, from the pedestrian realm.



Landscaping

enhancing building
and site

taking advantage
of special site
conditions

E-3 Landscape to Take Advantage of Special Site Conditions

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas and boulevards.

Wallingford-specific supplemental guidance

- Retain existing large trees wherever possible. The Design Review Board is encouraged to consider design departures that would allow retention of significant trees or to create new opportunities for large trees at grade.



Examples of Possible Application of Guidelines to Select Sites

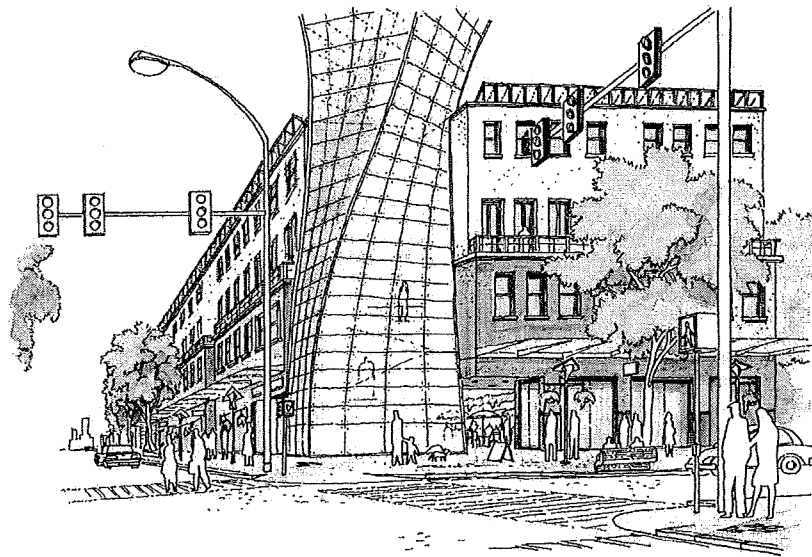
As part of a class at the University of Washington, students examined the possible application of the draft Wallingford Neighborhood Design Guidelines to specific sites. The results of this exercise are included here for informational purposes only, as desirable examples of the possible application of the guidelines to specific sites.

Southwest Corner of North 45th Street and Stone Way North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Varying heights in order to allow sunlight to reach street level.
- A-2 Designing the building in such a way that defines the corner.
- A-4 Setting back the building and widening the sidewalk to create more room for foot traffic and bus stop on Stone Way.
- A-8 Locating automobile access as far away from the corner as possible.
- A-10 Including a local landmark feature that provides a physical transition for motorists and pedestrians and communicates "Welcome to Wallingford."

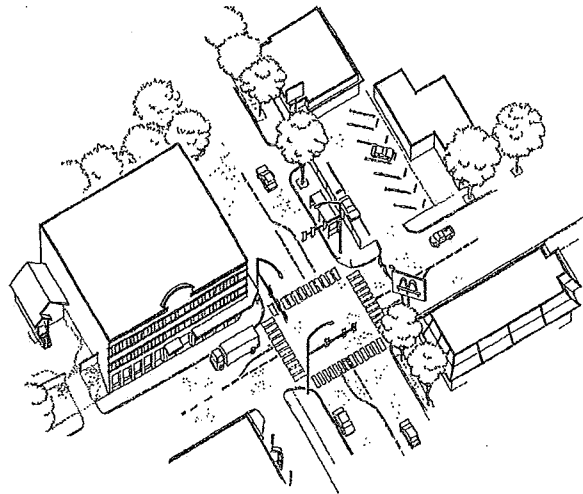


Northeast Corner of North 45th Street and Stone Way North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-8 Locating automobile access as far away from corner as possible.
- A-10 Including a local landmark feature that provides a physical transition for motorists and pedestrians and communicates "Welcome to Wallingford."
- C-1 Repeating architectural features of adjacent Blue Star Café building.
 - Brick as primary material for first floor commercial.
 - Similar sizing and spacing of windows.

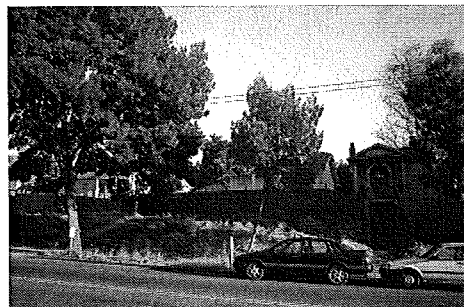


Single-Family Houses on North 45th Street, near Stone Way North and Woodlawn Avenue North

Zone: L-3 RC

Consideration of the following neighborhood recommendations is encouraged:

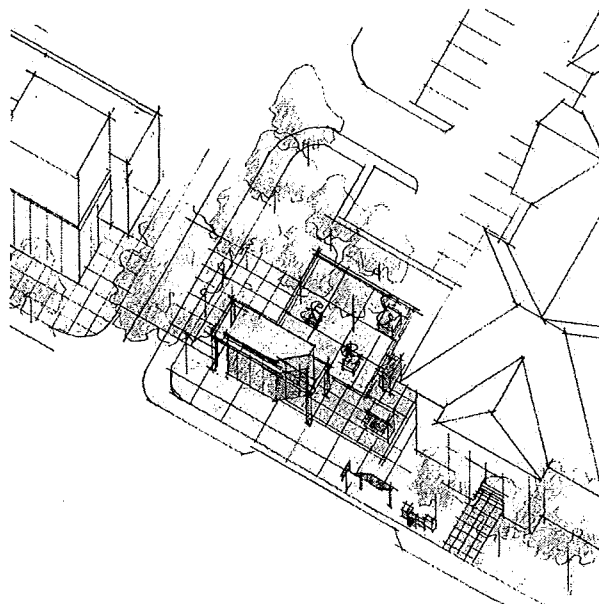
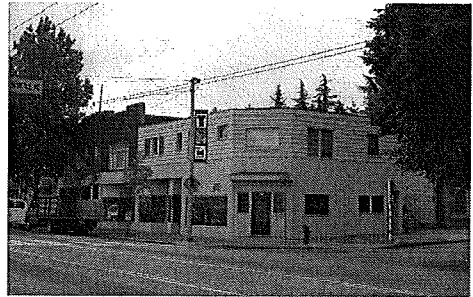
- A-1 Maximizing southern sun exposure on lot.
- A-2 Bringing building up to the sidewalk and widening the sidewalk similar to the mixed-use building at 45th & Interlake to allow more sun at street level.
- A-8 Providing automobile access from Interlake Avenue if possible.
- B-1 Protecting privacy of single-family neighbors to the south with appropriate transition setbacks at rear of development and preservation and enhancement of existing vegetation along the southern property line.
- C-4 Providing creative use of color and materials to break up façade and provide contrast to building on adjacent lot to the west.



Southeast Corner of North 45th Street & Burke Avenue North
Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Including an outdoor plaza along Burke to take advantage of south and western sun exposure.
- A-1 Incorporating the significant tree on the southwest corner of Burke and 45th as a main feature of a plaza linking the site to Wallingford Center.
- A-4 Locating the main entrance to the building at the corner. Setting the building back from street edge to accommodate high volume of pedestrian traffic.
- A-10 Coordinating certain aspects of the redevelopment with the Wallingford Land Use Committee; ultimate plans are to have alternate paving material at the Burke Street intersection to signify pedestrian connection with the Wallingford Center.
- C-2 Designing modulation and window bays to complement that of the building to the east (Tea House Kuan Yin).
- D-1 Providing overhead weather protection along 45th Street.
- D-1 Providing retail and pedestrian amenities on Burke Street to promote interaction with the Wallingford Center.

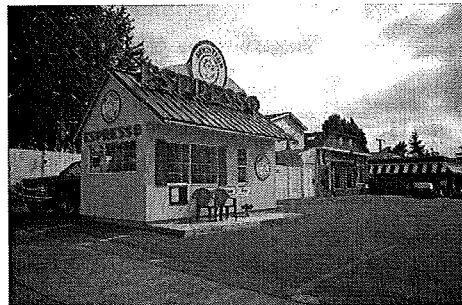


Northeast Corner of North 45th Street & Corliss Avenue North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

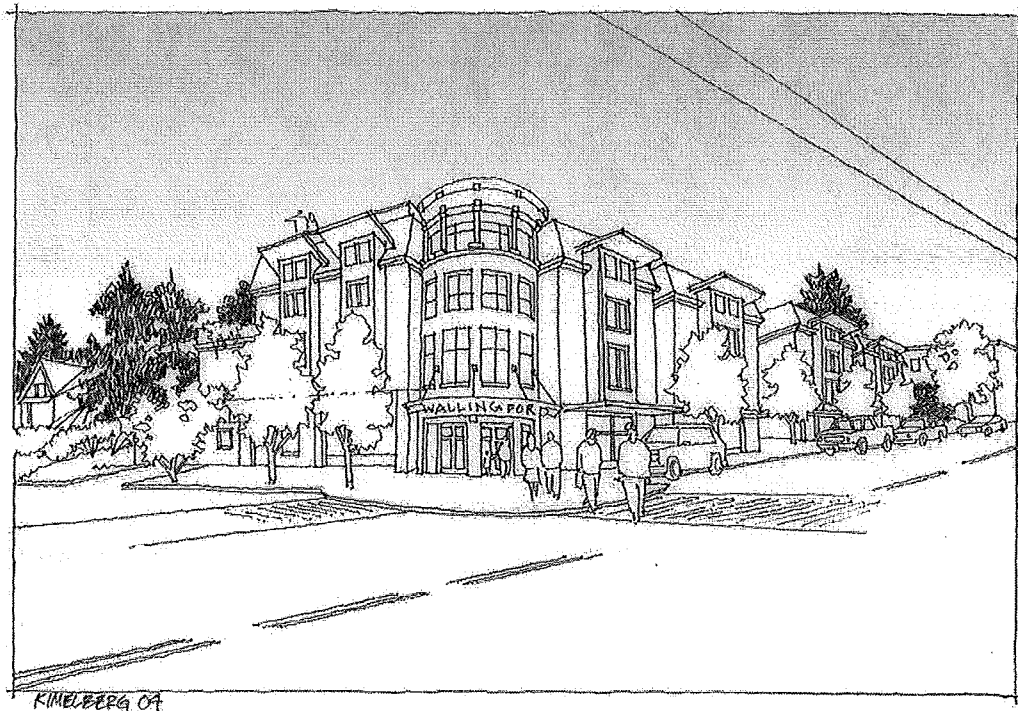
- A-1 Providing outdoor dining space to take advantage of the significant sun exposure this lot enjoys.
- A-2 Building the development to a widened sidewalk for continuation of consistent street façade. Using building setbacks for widened sidewalk and accommodation of pedestrian traffic and outdoor dining opportunities.
- A-8 Eliminating the multiple driveways and corresponding curb cuts along 45th to reassert use of the sidewalk by pedestrians. The neighborhood recommends that the City add parallel parking along 45th Street to enhance pedestrian safety.
- A-10 Creating focal point for the corner of 45th Street and Corliss Avenue North.
- D-1 Providing overhead weather protection along 45th Street.
- E-1 Planting ash trees along 45th Street.



Southwest Corner of North 45th Street & Eastern Avenue North Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Preserving existing dogwood tree on 45th Street. Replace and maintain street trees and foundation landscaping along North 45th Street.
- A-5 Protecting privacy of single-family neighbors to the south with an appropriate transition.
- A-7 Providing roof deck for resident use and views.
- A-10 Creating focal point for the corner of 45th Street and Corliss Avenue North.
- C-1 Setting building back from sidewalk and modulating façade at 25 foot or less intervals along 45th Street.
- D-1 Providing overhead weather protection along 45th Street.
- D-1 Extending sidewalk bulb on 45th Street and Corliss Avenue North to create pedestrian refuge.



A redevelopment concept for this key corner that incorporates the guidance outlined above, including: modulating the facade on 45th into human-scale intervals; creating a focal point at the corner through architectural expression and site planning; sensitivity to single-family neighbors by stepping back the building and adding landscape; and preserving the dogwood tree on the site.

ORDINANCE _____

1
2 AN ORDINANCE relating to land use and zoning; amending Section 23.41.010 of the
3 Seattle Municipal Code, approving and adopting the Wallingford Neighborhood
4 Design Guidelines.

5 WHEREAS, the City's Design Review Program was approved for implementation in
6 1993, at which time it was contemplated that a neighborhood could develop
7 design guidelines specific to a neighborhood's individual character, augmenting
8 the City's Design Guidelines for Multifamily and Commercial Buildings; and

9 WHEREAS, neighborhood-specific design guidelines have been developed for the
10 Wallingford neighborhood to carry out specific design goals identified by the
11 neighborhood; NOW, THEREFORE,

12 **BE IT ORDAINED BY THE CITY OF SEATTLE AS FOLLOWS:**

13 Section 1. Section 23.41.010 of the Seattle Municipal Code, which Section was
14 last amended by Council Bill 114668, is amended as follows:

15 **23.41.010 Design review guidelines.**

16 A. The "Guidelines for Multifamily and Commercial Buildings, 1998" and
17 neighborhood design guidelines approved by the City Council and identified in
18 subsection B of this section, provide the basis for Design Review Board
19 recommendations and City design review decisions, except in Downtown, where the
20 "Guidelines for Downtown Development, 1999" apply. Neighborhood design guidelines
21 are intended to augment and make more specific the "Guidelines for Multifamily and
22 Commercial Buildings, 1998" and the "Guidelines for Downtown Development, 1999."
23 To the extent there are conflicts between neighborhood design guidelines and the
24 "Guidelines for Multifamily and Commercial Buildings, 1998" or "Guidelines for
25 Downtown Development, 1999," the neighborhood design guidelines shall prevail.

26 B. The following Neighborhood design guidelines are approved:

- 27 1. "University Community Design Guidelines, 2000;"
- 28 2. "Pike/Pine Urban Center Village Design Guidelines, 2000;"
3. "Roosevelt Urban Village Design Guidelines, 2000;"

- 1 4. "Ballard Municipal Center Master Plan Area Design Guidelines, 2000;"
- 2 5. "West Seattle Junction Urban Village Design Guidelines, 2001;"
- 3 6. "Green Lake Neighborhood Design Guidelines, 2001;"
- 4 7. "Admiral Residential Urban Village Design Guidelines, 2002;"
- 5 8. "South Lake Union Urban Village Design Guidelines, 2003;
- 6 9. "Northgate Urban Center and Overlay District Design Guidelines,
- 7 2003;"
- 8 10. Belltown Neighborhood Design Guidelines, 2004; and
- 9 11. Wallingford Neighborhood Design Guidelines, 2004.

10 Section 2. This ordinance shall take effect and be in force thirty (30) days from
11 and after its approval by the Mayor, but if not approved and returned by the Mayor within
12 ten (10) days after presentation, it shall take effect as provided by Municipal Code
13 Section 1.04.020.

14 Passed by the City Council the ____ day of _____, 2004, and signed by me
15 in open session in authentication of its passage this ____ day of _____, 2004.

16
17 _____
18 President _____ of the City Council

19 Approved by me this ____ day of _____, 2004.

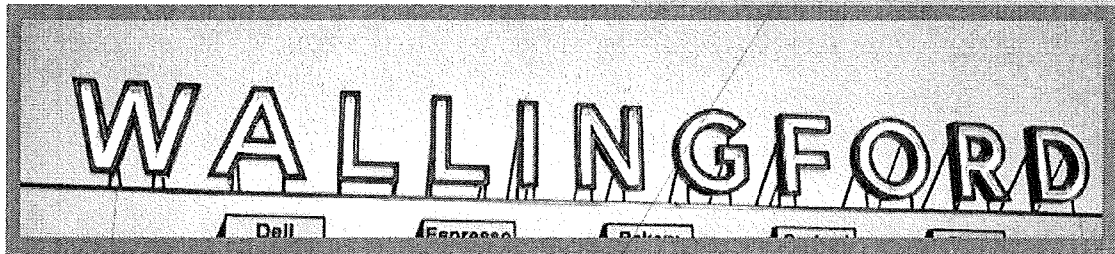
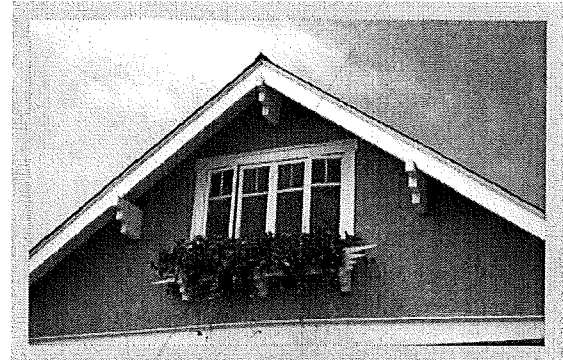
20 _____
21 Gregory J. Nickels, Mayor

22 Filed by me this ____ day of _____, 2004.

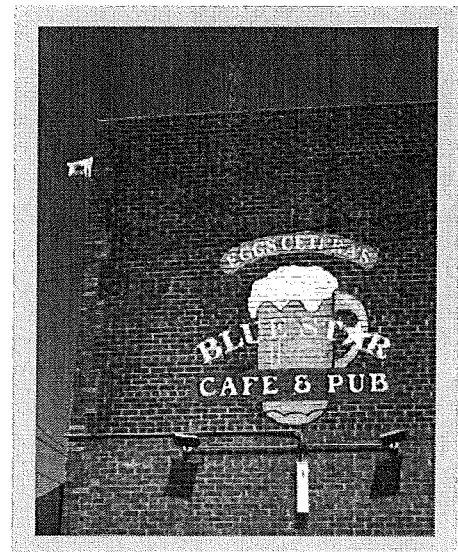
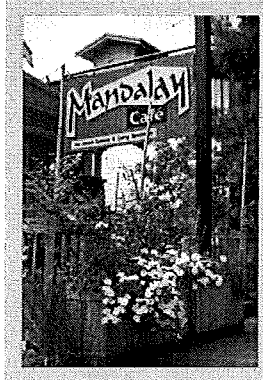
23 _____
24 City Clerk

25 (Seal)

26 Attachment 1: Wallingford Neighborhood Design Guidelines
27
28



Neighborhood Design Guidelines



Wallingford Neighborhood Design Guidelines

This chapter is a detailed outline of the design features that residents and business owners believe can enhance the unique and special character of Wallingford. Projects requiring design review will be evaluated for consistency with the Wallingford Neighborhood Design Guidelines in this handbook as well as the Citywide Design Guidelines. Applicants are encouraged to consider the Wallingford-specific supplemental guidance under the following guidelines.



Site Planning

responding to site characteristics

Code Departures

Under SMC 23.41.012 the City may grant departures for certain development requirements. Departures are appropriate within the Wallingford neighborhood. In particular, departures are favored if they facilitate design that encourages pedestrian activity within the Wallingford retail core or reinforce the identity or character of the neighborhood.

Enhanced Citywide Design Guidelines

Note: The guidelines are numbered to correspond to the Citywide Design Guidelines (A-1, A-2, etc.). A gap in the numerical sequence means there are no specific neighborhood design guidelines for that particular Citywide Guideline.

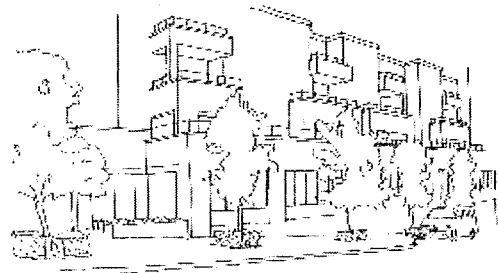
A. Site Planning

A-1 Responding to Site Characteristics

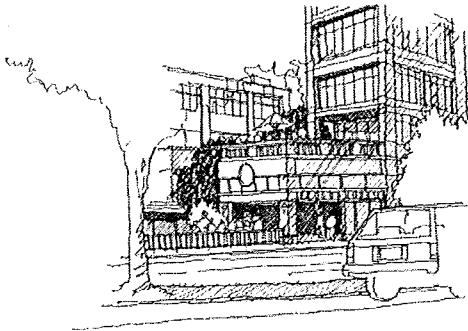
The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

Wallingford-specific supplemental guidance

- Upper level building setbacks and setbacks along the building base are encouraged to help minimize shadow impacts on public sidewalks.
- Design public and private outdoor spaces to take advantage of sun exposure.
- Development along North 45th Street, Stone Way North and other north-south streets south of North 40th Street with water, mountain and skyline views should use setbacks to complement and preserve such views from public right-of-ways.



An example of upper level setbacks.



Setbacks for activity to take advantage of sun exposure.



Site Planning

reinforce existing
streetscape
characteristics

A-2 Reinforce Existing Streetscape Characteristics

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Wallingford-specific supplemental guidance

- Visually reinforce the existing street storefronts by placing horizontal or vertical elements in a line corresponding with the setbacks and façade elements of adjacent building fronts. These could include trees, columns, windows, planters, benches, overhead weather protection, cornices or other building features.
- Visually reinforce the existing street wall by using paving materials that differentiate the setback area from the sidewalk.

A-3 Make Entry Clearly Identifiable from the Street

Entries should be clearly identifiable and visible from the street.

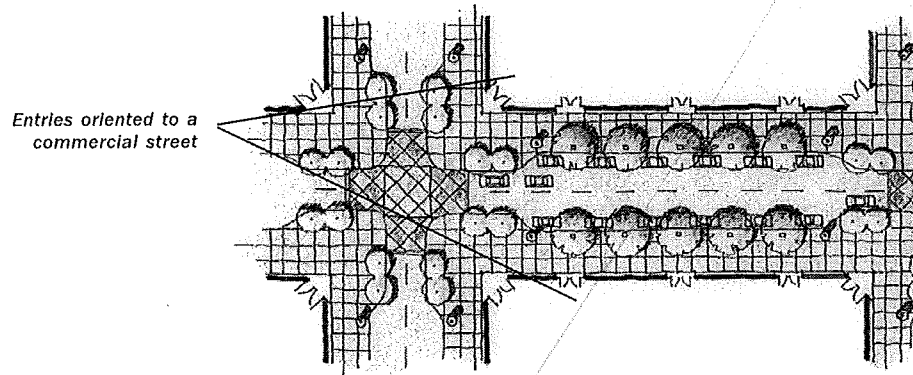
Wallingford-specific supplemental guidance

- Primary business and residential entrances should be oriented to the commercial street (for development along North 45th Street and Stone Way North).



Site Planning

entries visible from the street
human activity

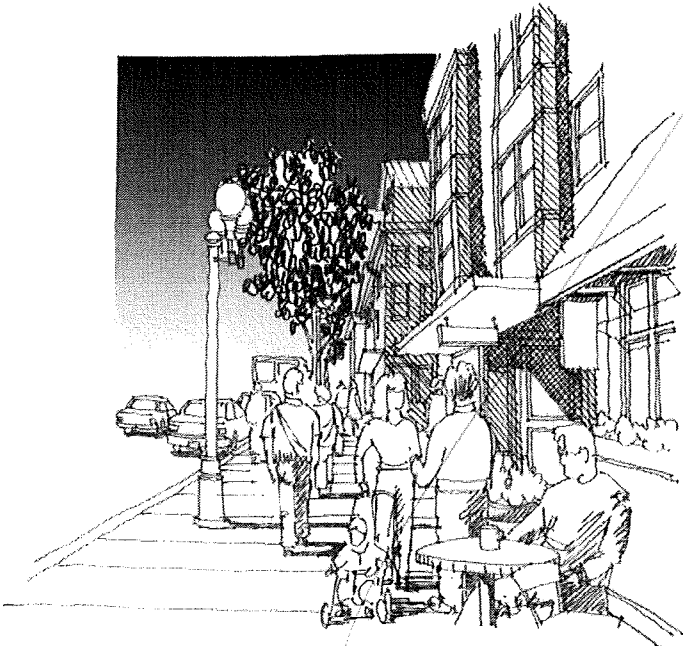


A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

Wallingford-specific supplemental guidance

- If not already required by code for new development, applicants are encouraged to increase the ground level setback in order to accommodate pedestrian traffic and amenity features, particularly along North 45th Street, where existing sidewalks tend to be too narrow.
- Outdoor dining, indoor-outdoor commercial/retail space, balconies, public plazas and outdoor seating are particularly encouraged on lots located on North 45th Street and Stone Way North.



The building in the foreground is set back to provide outdoor seating and pedestrian traffic on a retail street.

A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Wallingford-specific supplemental guidance

Maximize open space opportunity at grade (residential or mixed-use projects):

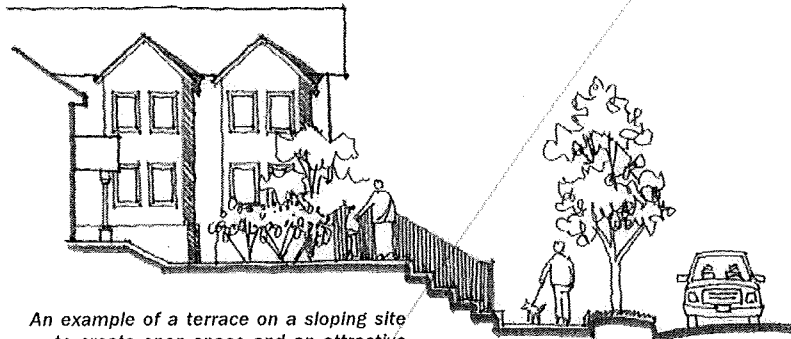
- Terraces on sloping land that create level yard space, courtyards and front and/or rear yards are all encouraged residential open space techniques.
- Make use of the building setbacks to create public open space at grade. Open spaces at grade that are 20 x 20 feet or larger and include significant trees are encouraged in exchange for landscape departures.



Site Planning

residential
open space

parking and
vehicle access



An example of a terrace on a sloping site to create open space and an attractive transition from the building to the street.

A-8 Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Wallingford-specific supplemental guidance

- Structured parking entrances should be located on side streets or alleys.
- Drive-in facilities whose driveways enter or exit over the main frontage sidewalk are discouraged.

A-9 Location of Parking on Commercial Street Fronts

Parking on a commercial street front should be minimized and where possible, parking should be located behind a building.

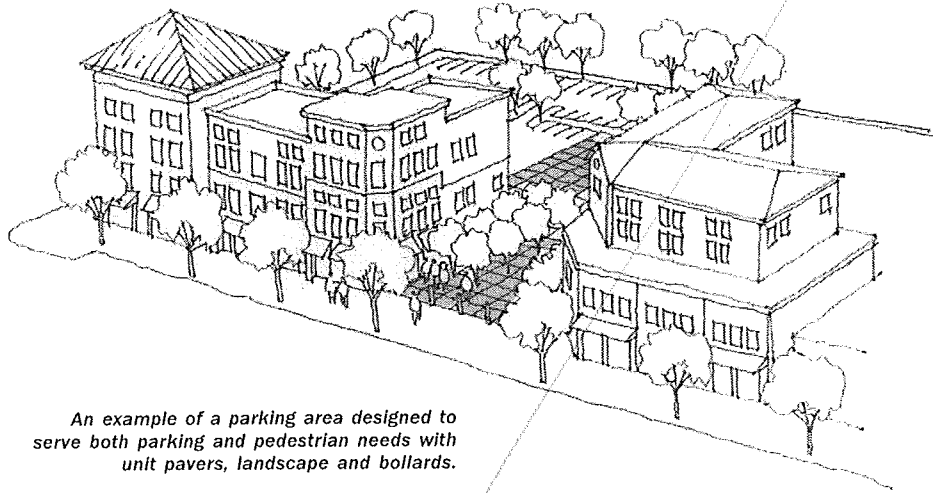
Wallingford-specific supplemental guidance

- Surface parking areas facing the main street frontages are discouraged.
- Multi-purpose parking areas paved with unit pavers are encouraged (i.e., areas that serve both parking and public open space needs).



Site Planning

location of parking
corner lots



An example of a parking area designed to serve both parking and pedestrian needs with unit pavers, landscape and bollards.

A-10 Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Wallingford-specific supplemental guidance

- Buildings on corner lots should be oriented to the corner. Parking and vehicle access should be located away from the corner.
- Provide definition at main gateways to Wallingford (North 45th Street and I-5; North 45th Street and Stone Way North; and Stone Way North and Bridge Way North). Redevelopment of lots at these intersections should include special features that signal and enhance the entrance to the Wallingford neighborhood including a tower, fountain, statue or other expression of local creativity that provides a physical transition for motorists and pedestrians and communicates "Welcome to Wallingford."
- Provide definition at other main intersections.
- Developers are encouraged to propose larger setbacks to provide for wider sidewalks or plazas and to enhance view corridors at gateway intersections in consideration for departures from lot coverage or landscaping requirements.

- Typical corner developments should provide:

- a main building entrance located at corner;
- an entrance set back to soften corner and enhance pedestrian environment; and
- use of a hinge, bevel, notch, open bay or setback in the massing to reflect the special nature of the corner and draw attention to it. (Example: Julia's open bay with bevel.)



Site Planning

corner lots



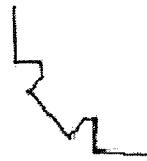
radius



hinged



beveled



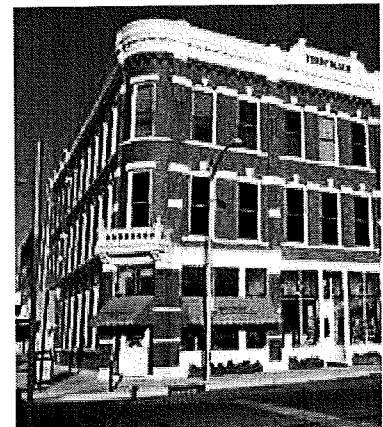
mitred



open bay with bevel



Building design providing definition to the corner.



B. Height, Bulk and Scale

B-1 Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

B

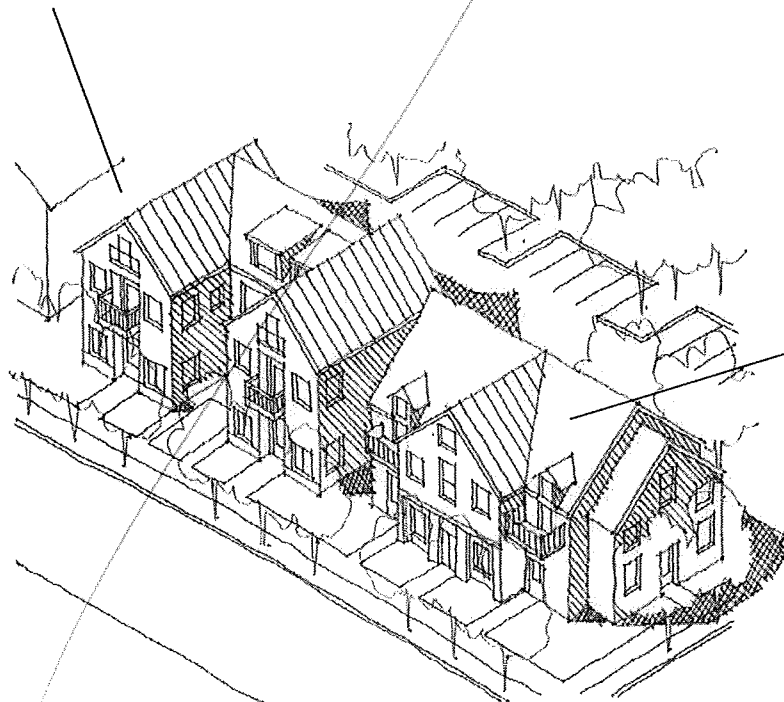
Height, Bulk and Scale

height, bulk and scale compatibility

Wallingford-specific supplemental guidance

- Cornice and roof lines should respect the heights of surrounding structures.
- Traditional architectural features such as pitched roofs and gables are encouraged on residential project sites adjacent to single-family and low-rise zones.
- To protect single-family zones, consider providing upper level setbacks to limit the visibility of floors that are above 30 feet.
- Consider dividing building into small masses with variation of building setbacks and heights in order to preserve views, sun and privacy of adjacent residential structures and sun exposure of public spaces, including streets and sidewalks.

existing residential



new multifamily development

An example of massing, roof forms and elements such as dormers on new multifamily development to create scale compatibility with adjacent residential areas.

- For developments exceeding 180 feet in length, consider creating multiple structures with separate circulation cores.
- Color schemes should help reduce apparent size and bulk of buildings and provide visual interest. White, off-white and pinky-beige buff on portions of buildings over 24 feet tall is discouraged.

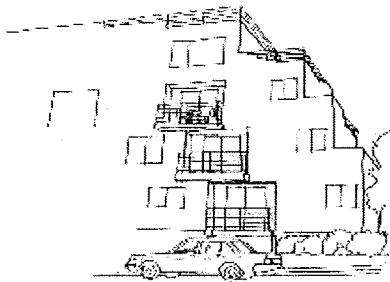
Be sensitive to public views on North 45th Street, Stone Way North and north-south avenues south of North 40th Street:

- Consider stepping back floors five feet per floor.
- Notching or setbacks at corners of buildings or ground floors are encouraged.

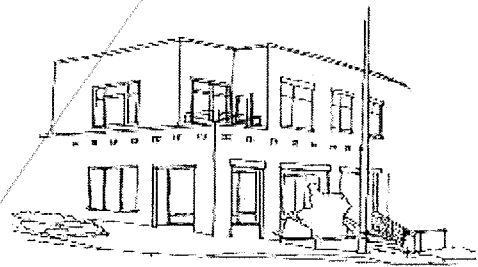
B

Height, Bulk and Scale

height, bulk and scale compatibility



An example of stepping back each floor.



Corner building setback.

C. Architectural Elements and Materials

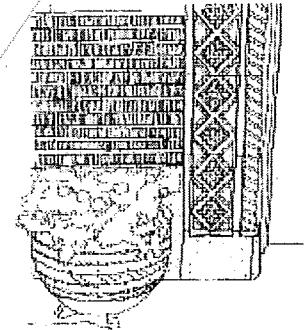
C-1 Architectural Context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

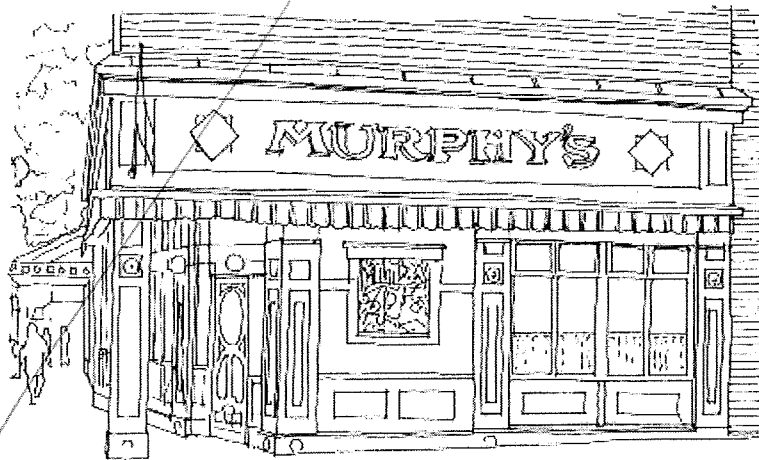
Wallingford-specific supplemental guidance

Complement positive existing character and/or respond to nearby pre-World War II structures. Traditional early 20th Century commercial structures are primarily one story high and include:

- solid kick panels below windows
- large storefront windows
- multi-pane or double hung windows with transoms or clerestories lites
- high level of fine grained detailing and trim
- high quality materials, such as brick and terra-cotta
- canopies
- variable parapets
- cornices



New buildings should strive for a contextual approach to design. A contextual design approach is not intended to dictate a historicist approach, but rather one that is sensitive to surrounding noteworthy buildings and style elements.



An example of traditional storefront design found in Wallingford. Large windows and details provide interest and human scale at the street.



Architectural Elements and Materials

architectural context

Base

- Ground floors or bases immediately next to pedestrians should reflect a higher level of detail refinement and high quality materials.
- Encourage transparent, open facades for commercial uses at street level (as an example, windows that cover between 50-80 percent of the ground floor façade area and begin approximately 24 to 30 inches above the sidewalk rather than continuing down to street level).

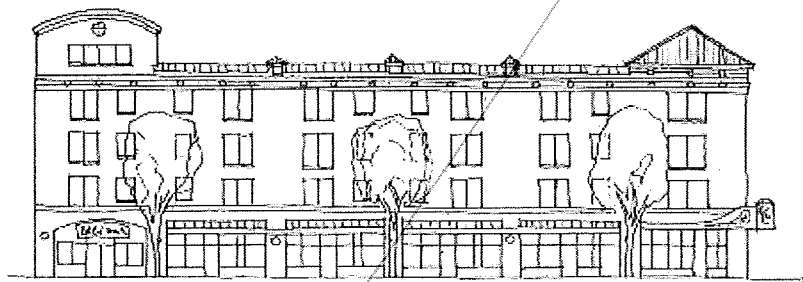
Middle

- Mid-level building façade elements should be articulated to provide visual interest on a bay-by-bay scale. Architectural features should include: belt courses or horizontal bands to distinguish individual floors; change in materials and color and/or texture that enhance specific form elements or vertical elements of the building; a pattern of windows; and/or bay windows to give scale to the structure.
- Consider using detail elements such as a cast stone, tile or brick pattern that respond to architectural features on existing buildings.
- Consider using spacing and width of bays or pavilions to provide intervals in the façade to create scale elements similar to surrounding buildings.



Architectural Elements and Materials

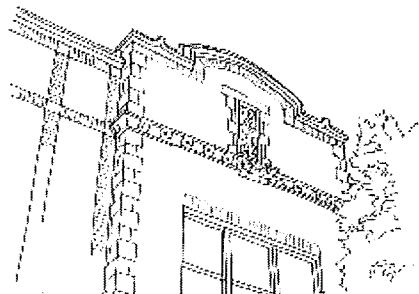
architectural context



An example of a well-composed mixed-use building that reflects the change in use from commercial at the ground floor to residential above with horizontal lines, architectural details and fenestration patterns.

Top

- Clearly distinguish tops of buildings from the façade walls by including detail elements consistent with the traditional neighborhood buildings such as steep gables with overhangs, parapets and cornices.



C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its façade walls.

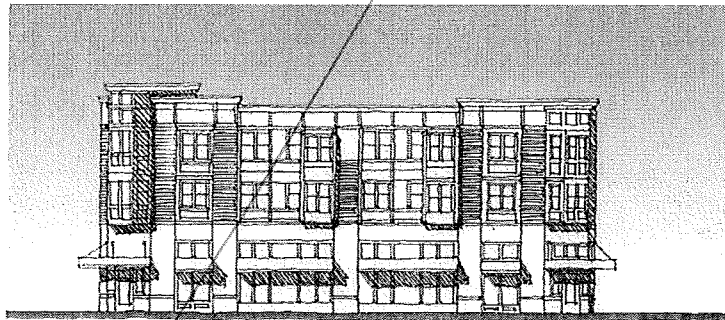
Wallingford-specific supplemental guidance

- The massing of large buildings should reflect the functions of the building and respond to the scale of traditional buildings by including major façade elements, which help to break the building into smaller pieces with distinctive appearances.
- Rooftop building systems (i.e., mechanical and electrical equipment, antennas) should be screened from all key observation points by integrating them into the building design with parapets, screens or other methods.
- Illuminate distinctive features of the building, including entries, signage, canopies, and areas of architectural detail and interest. Encourage pedestrian scale pole lights along streets and walks.



Architectural Elements and Materials

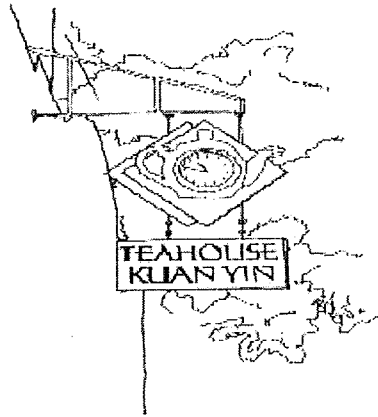
architectural concept and consistency



Elements such as bay windows and cornice lines help to establish the building's overall appearance based on a human scale set of proportions.

Signage:

- Signage should reflect the pedestrian scale of the neighborhood.
- Generally, individualized, externally illuminated signs are preferred over internally illuminated, rectangular box signs.
- Signage should be integrated with the architectural concept of the development in scale, detailing, use of color and materials, and placement.
- Creative, detailed, artistic and unique signage is encouraged.
- The use of icons, symbols, graphic logos or designs that represent a service or occupation are preferable to standardized corporate logos.
- Pole signs of any type are discouraged.



**Architectural
Elements and
Materials**

architectural
concept and
consistency



C-3 Human Scale

The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

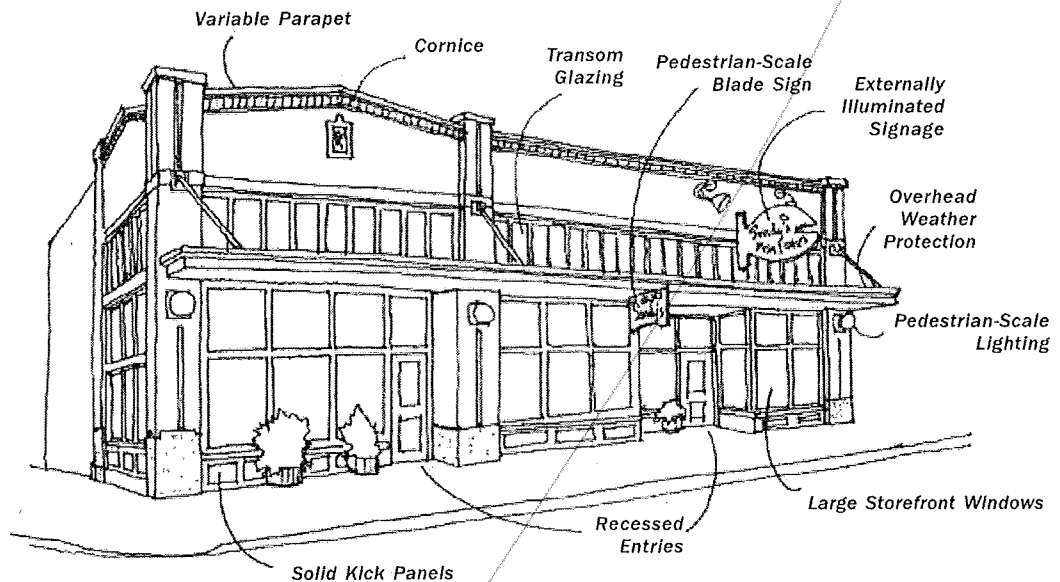
Wallingford-specific supplemental guidance

- Transom or clerestory windows above entrances, display windows and projected bay windows are encouraged.
- Multiple paned windows that divide large areas of glass into smaller parts are preferred because they add human scale.



Architectural Elements and Materials

human scale



Use durable, attractive and well-detailed finish materials:

- Finish materials that are susceptible to staining, fading or other discoloration are strongly discouraged.
- Encourage the use of brick.
- Discourage aluminum and vinyl siding, and siding with narrow trim.

D. Pedestrian Environment

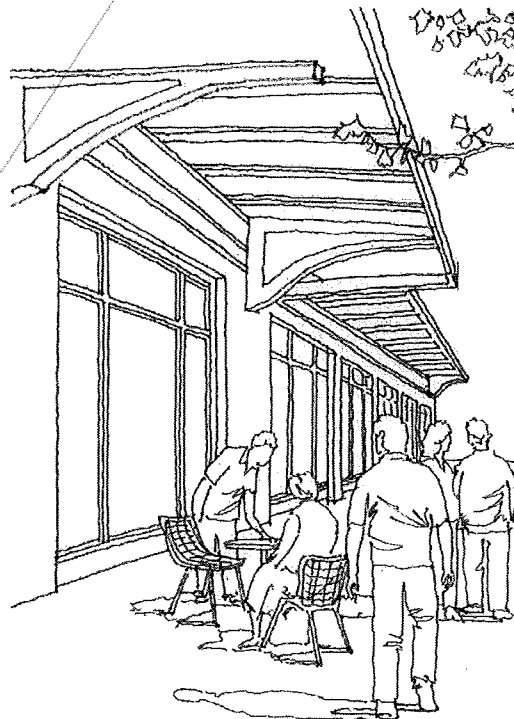
D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Wallingford-specific supplemental guidance

Provide convenient, attractive and protected pedestrian entry for both business and upper story residential uses.

- Entries for residential uses on the street (rather than from the rear of the property) add to the activity on the street and allow for visual surveillance for personal safety.
- Continuous, well-lighted, overhead weather protection is strongly encouraged to improve pedestrian comfort and to promote a sense of security.
- Overhead weather protection should be designed with consideration of:
 - a. the overall architectural concept of the building;
 - b. uses occurring within the building (such as entries and retail spaces) or in the adjacent streetscape environment (such as bus stops and intersections);
 - c. minimizing gaps in coverage, except to accommodate street trees;
 - d. a drainage strategy that keeps rain water off the street-level façade and sidewalk;
 - e. relationship to architectural features and elements on adjacent development, especially if abutting a building of historic or noteworthy character;
 - f. the scale of the space defined by the height and depth of the weather protection;
 - g. the illumination of light colored undersides to increase security after dark.



Overhead weather protection should be scaled in height and depth to provide pedestrian comfort and encourage activity.



Pedestrian Environment

open spaces and entrances

D-2 Blank Walls

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

Wallingford-specific supplemental guidance

- Long, undifferentiated surfaces, facades or store frontages are strongly discouraged.
- In situations where blank walls are necessary, encourage their enhancement with decorative patterns, murals or other treatment.
- Locate and design ground floor windows to maximize transparency of commercial façade and attract pedestrian interest.
- Large windows that open to facilitate indoor-outdoor interaction with street are encouraged.
- Windows on walls perpendicular to the street are encouraged.



Pedestrian Environment

blank walls



Wrapping a street level facade around the corner is encouraged.

D-3 Retaining Walls

Minimize the height of retaining walls.

- Where retaining walls are unavoidable, a textured surface, inlaid material and/or sensitively designed reveal lines are encouraged.

D-4 Design of Parking Lots Near Sidewalks

Parking lots near sidewalks should provide adequate security and lighting, avoid encroachment of vehicles onto the sidewalk, and minimize the visual clutter of parking lot signs and equipment.

Wallingford-specific supplemental guidance

Minimize visual and physical intrusion of parking lots on pedestrian areas.

- Narrower curb cut widths are generally supported.
- Combine arcade or colonnade with landscaping to separate parking areas from sidewalks.

D-7 Personal Safety and Security

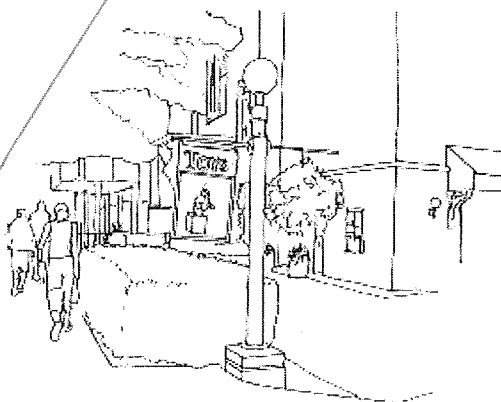
Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Wallingford-specific supplemental guidance

- In residential projects, discourage solid fences that reduce security and visual access from streets.

Lighting:

- Encourage pedestrian-scale lighting, such as a 12- to 15-foot-high pole or bollard fixtures.
- Consider installing lighting in display windows that illuminates the sidewalk.
- Fixtures that produce glare or that spill light to adjoining sites, such as "wall-packs," are discouraged.
- Installation of pedestrian light fixtures as part of a development's sidewalk improvements is strongly encouraged. The style of light fixture should be consistent with the preference identified by Wallingford through Seattle City Light's pedestrian lighting program.



Pedestrian Environment

design of parking lots near sidewalks

personal safety and security

E. Landscaping

E-1 Reinforce Existing Landscape Character of Neighborhood

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Wallingford-specific supplemental guidance

- Flower boxes on windowsills and planters at entryways are encouraged.
- Greening of streets lacking trees, flowers and landscaping is strongly recommended.



Landscaping

reinforce existing character of the neighborhood



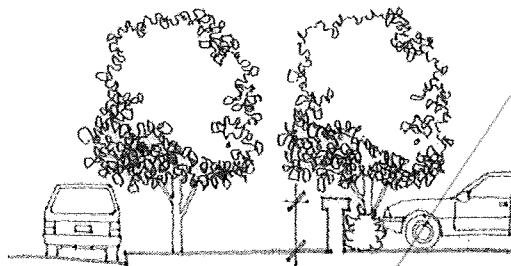
Planters at an entryway soften the street edge and add a welcoming entry to the building.

E-2 Landscaping to Enhance the Building and/or Site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Wallingford-specific supplemental guidance

- Thick evergreen hedges, non-invasive vines on fencing or low walls, and other substantial landscaping should be used to visually and physically buffer sidewalks and adjacent buildings from parking areas; camouflage exposed concrete walls; and buffer adjacent single-family houses and residential developments.



A low wall, landscape, and a second row of street trees buffer adjacent uses, such as parking, from the pedestrian realm.



Landscaping

enhancing building and site

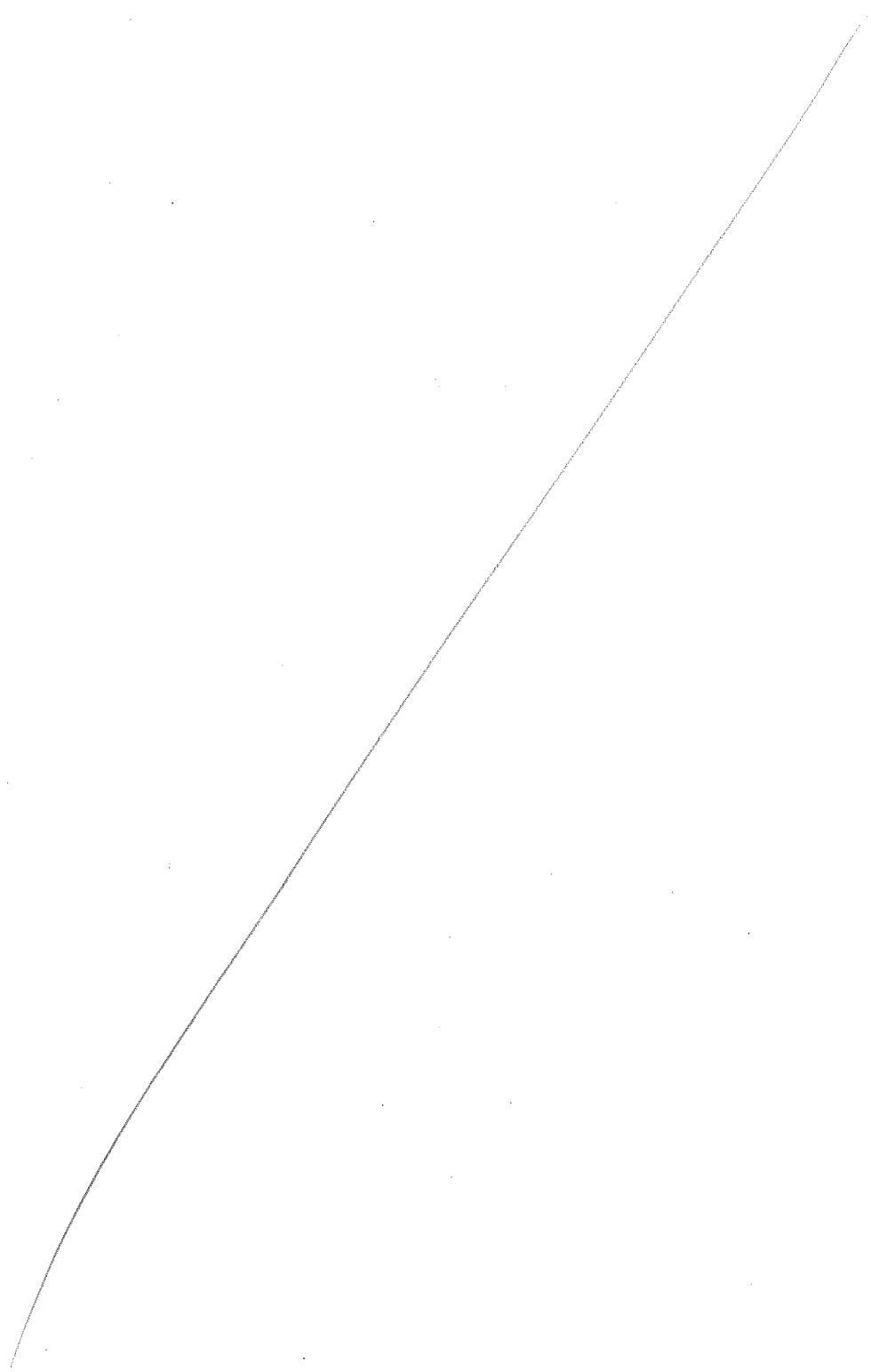
taking advantage of special site conditions

E-3 Landscape to Take Advantage of Special Site Conditions

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas and boulevards.

Wallingford-specific supplemental guidance

- Retain existing large trees wherever possible. The Design Review Board is encouraged to consider design departures that would allow retention of significant trees or to create new opportunities for large trees at grade.



Examples of Possible Application of Guidelines to Select Sites

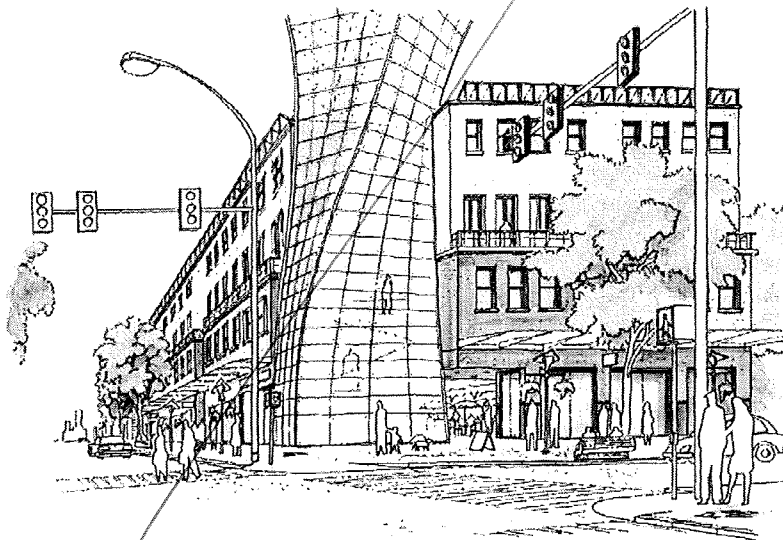
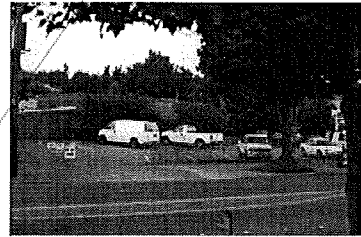
As part of a class at the University of Washington, students examined the possible application of the draft Wallingford Neighborhood Design Guidelines to specific sites. The results of this exercise are included here for informational purposes only, as desirable examples of the possible application of the guidelines to specific sites.

Southwest Corner of North 45th Street and Stone Way North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Varying heights in order to allow sunlight to reach street level.
- A-2 Designing the building in such a way that defines the corner.
- A-4 Setting back the building and widening the sidewalk to create more room for foot traffic and bus stop on Stone Way.
- A-8 Locating automobile access as far away from the corner as possible.
- A-10 Including a local landmark feature that provides a physical transition for motorists and pedestrians and communicates "Welcome to Wallingford."

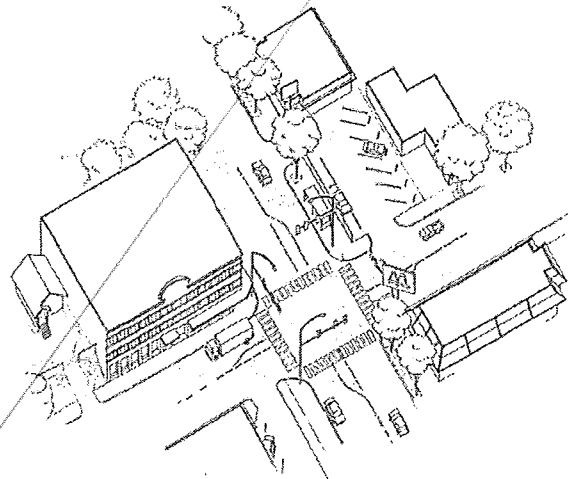


Northeast Corner of North 45th Street and Stone Way North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-8 Locating automobile access as far away from corner as possible.
- A-10 Including a local landmark feature that provides a physical transition for motorists and pedestrians and communicates "Welcome to Wallingford."
- C-1 Repeating architectural features of adjacent Blue Star Café building.
 - Brick as primary material for first floor commercial.
 - Similar sizing and spacing of windows.

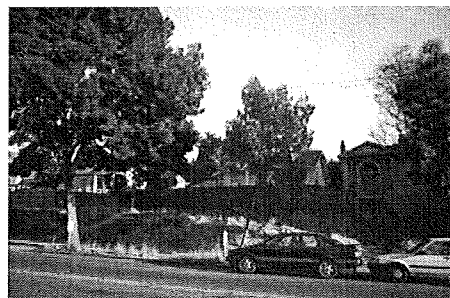


Single-Family Houses on North 45th Street, near Stone Way North and Woodlawn Avenue North

Zone: L-3 RC

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Maximizing southern sun exposure on lot.
- A-2 Bringing building up to the sidewalk and widening the sidewalk similar to the mixed-use building at 45th & Interlake to allow more sun at street level.
- A-8 Providing automobile access from Interlake Avenue if possible.
- B-1 Protecting privacy of single-family neighbors to the south with appropriate transition setbacks at rear of development and preservation and enhancement of existing vegetation along the southern property line.
- C-4 Providing creative use of color and materials to break up façade and provide contrast to building on adjacent lot to the west.

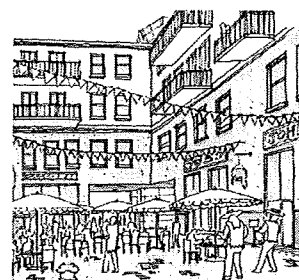
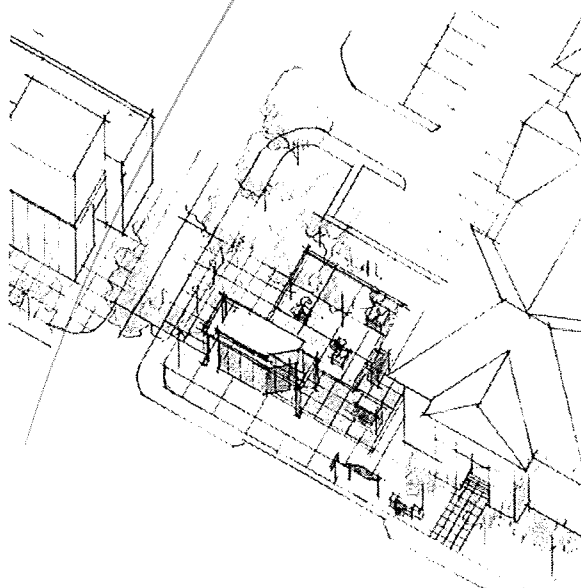


Southeast Corner of North 45th Street & Burke Avenue North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Including an outdoor plaza along Burke to take advantage of south and western sun exposure.
- A-1 Incorporating the significant tree on the southwest corner of Burke and 45th as a main feature of a plaza linking the site to Wallingford Center.
- A-4 Locating the main entrance to the building at the corner. Setting the building back from street edge to accommodate high volume of pedestrian traffic.
- A-10 Coordinating certain aspects of the redevelopment with the Wallingford Land Use Committee; ultimate plans are to have alternate paving material at the Burke Street intersection to signify pedestrian connection with the Wallingford Center.
- C-2 Designing modulation and window bays to complement that of the building to the east (Tea House Kuan Yin).
- D-1 Providing overhead weather protection along 45th Street.
- D-1 Providing retail and pedestrian amenities on Burke Street to promote interaction with the Wallingford Center.

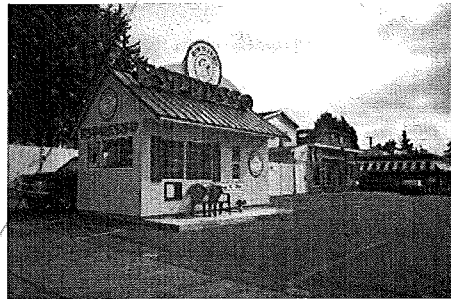


Northeast Corner of North 45th Street & Corliss Avenue North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Providing outdoor dining space to take advantage of the significant sun exposure this lot enjoys.
- A-2 Building the development to a widened sidewalk for continuation of consistent street façade. Using building setbacks for widened sidewalk and accommodation of pedestrian traffic and outdoor dining opportunities.
- A-8 Eliminating the multiple driveways and corresponding curb cuts along 45th to reassert use of the sidewalk by pedestrians. The neighborhood recommends that the City add parallel parking along 45th Street to enhance pedestrian safety.
- A-10 Creating focal point for the corner of 45th Street and Corliss Avenue North.
- D-1 Providing overhead weather protection along 45th Street.
- E-1 Planting ash trees along 45th Street.

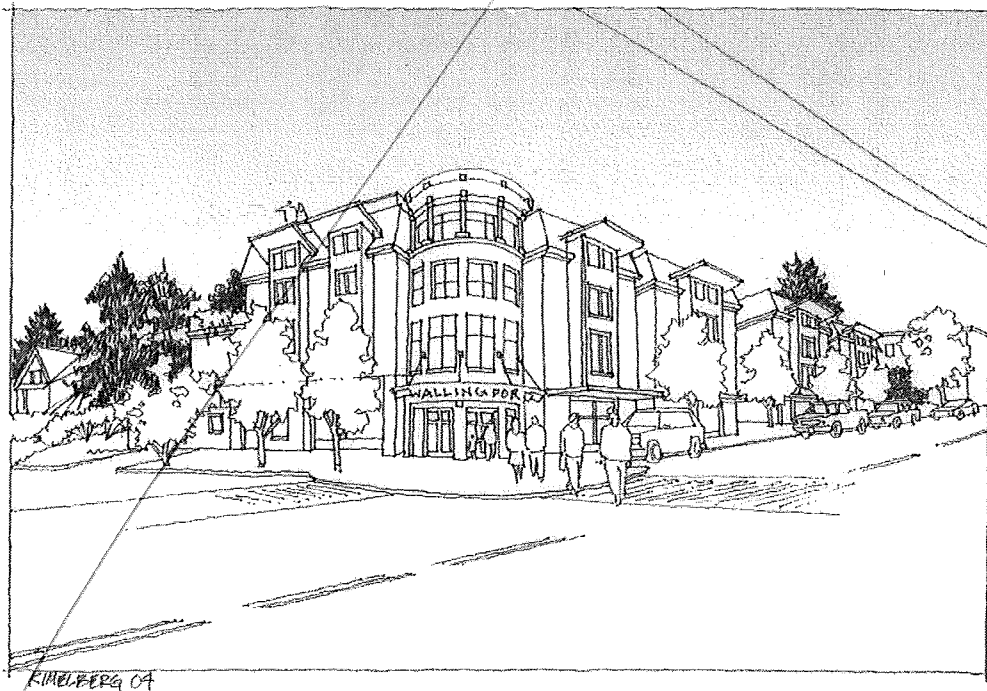
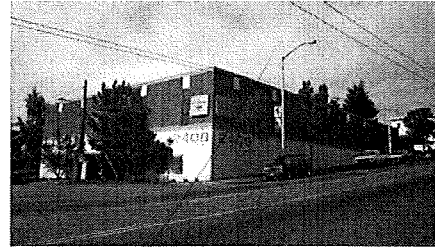


Southwest Corner of North 45th Street & Eastern Avenue North

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Preserving existing dogwood tree on 45th Street. Replace and maintain street trees and foundation landscaping along North 45th Street.
- A-5 Protecting privacy of single-family neighbors to the south with an appropriate transition.
- A-7 Providing roof deck for resident use and views.
- A-10 Creating focal point for the corner of 45th Street and Corliss Avenue North.
- C-1 Setting building back from sidewalk and modulating façade at 25 foot or less intervals along 45th Street.
- D-1 Providing overhead weather protection along 45th Street.
- D-1 Extending sidewalk bulb on 45th Street and Corliss Avenue North to create pedestrian refuge.



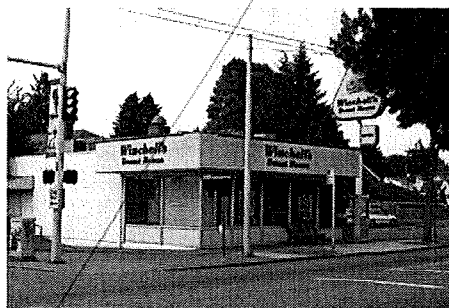
A redevelopment concept for this key corner that incorporates the guidance outlined above, including: modulating the facade on 45th into human-scale intervals; creating a focal point at the corner through architectural expression and site planning; sensitivity to single-family neighbors by stepping back the building and adding landscape; and preserving the dogwood tree on the site.

Northeast 45th Street between Second Avenue Northeast and Thackery Place Northeast

Zone: NC2-40

Consideration of the following neighborhood recommendations is encouraged:

- A-1 Preserving existing mature tree on 45th Street and plant ash trees along 45th Street and Second Avenue Northeast.
- A-1 Maximizing southern sun exposure on rear of lot.
- A-2 Bringing the building up to sidewalk and widening the sidewalk to enhance pedestrian environment and provide consistent street façade.
- A-5 Protecting privacy and natural light of bungalow located behind existing Winchell's building.
- A-10 Providing gateway feature at Northeast corner of site or building to communicate entrance to Wallingford neighborhood.
- B-1 Placing the majority of the building mass along 45th Street and on Golden Oldies lot.
- C-1 Varying color, material, and height of façade to provide appearance of individual smaller-scale buildings along 45th Street.
- D-1 Providing overhead weather protection along 45th Street and on Thackery Place Northeast to accommodate bus stop area.



STATE OF WASHINGTON – KING COUNTY

--SS.

184276
CITY OF SEATTLE, CLERKS OFFICE

No.

Affidavit of Publication

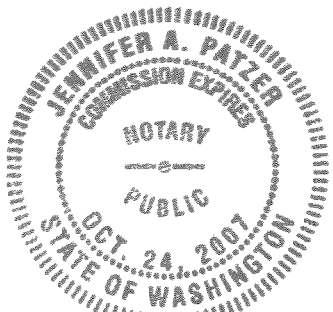
The undersigned, on oath states that he is an authorized representative of The Daily Journal of Commerce, a daily newspaper, which newspaper is a legal newspaper of general circulation and it is now and has been for more than six months prior to the date of publication hereinafter referred to, published in the English language continuously as a daily newspaper in Seattle, King County, Washington, and it is now and during all of said time was printed in an office maintained at the aforesaid place of publication of this newspaper. The Daily Journal of Commerce was on the 12th day of June, 1941, approved as a legal newspaper by the Superior Court of King County.

The notice in the exact form annexed, was published in regular issues of The Daily Journal of Commerce, which was regularly distributed to its subscribers during the below stated period. The annexed notice, a

CT:121759 ORD IN FULL

was published on

4/12/2005



Affidavit of Publication

[Handwritten signature]

Subscribed and sworn to before me on

4/12/2005

[Handwritten signature]

Notary public for the State of Washington,
residing in Seattle

State of Washington, King County

City of Seattle

ORDINANCE 121759

AN ORDINANCE relating to land use and zoning; amending Section 23.41.010 of the Seattle Municipal Code, approving and adopting the Wallingford Neighborhood Design Guidelines.

WHEREAS, the City's Design Review Program was approved for implementation in 1993, at which time it was contemplated that a neighborhood could develop design guidelines specific to a neighborhood's individual character, augmenting the City's Design Guidelines for Multifamily and Commercial Buildings; and

WHEREAS, neighborhood-specific design guidelines have been developed for the Wallingford neighborhood to carry out specific design goals identified by the neighborhood; NOW, THEREFORE,

BE IT ORDAINED BY THE CITY OF SEATTLE AS FOLLOWS:

Section 1. Section 23.41.010 of the Seattle Municipal Code, which Section was last amended by Council Bill 114668, is amended as follows:

23.41.010 Design review guidelines.

A. The "Guidelines for Multifamily and Commercial Buildings, 1998" and neighborhood design guidelines approved by the City Council and identified in subsection B of this section, provide the basis for Design Review Board recommendations and City design review decisions, except in Downtown, where the "Guidelines for Downtown Development, 1999" apply. Neighborhood design guidelines are intended to augment and make more specific the "Guidelines for Multifamily and Commercial Buildings, 1998" and the "Guidelines for Downtown Development, 1999." To the extent there are conflicts between neighborhood design guidelines and the "Guidelines for Multifamily and Commercial Buildings, 1998" or "Guidelines for Downtown Development, 1999," the neighborhood design guidelines shall prevail.

B. The following Neighborhood design guidelines are approved:

1. "University Community Design Guidelines, 2000;"
2. "Pike/Pine Urban Center Village Design Guidelines, 2000;"
3. "Roosevelt Urban Village Design Guidelines, 2000;"
4. "Ballard Municipal Center Master Plan Area Design Guidelines, 2000;"
5. "West Seattle Junction Urban Village Design Guidelines, 2001;"
6. "Green Lake Neighborhood Design Guidelines, 2001;"
7. "Admiral Residential Urban Village Design Guidelines, 2002;"
8. "South Lake Union Urban Village Design Guidelines, 2003;"
9. "Northgate Urban Center and Overlay District Design Guidelines, 2003;"
10. Belltown Neighborhood Design Guidelines, 2004; and
11. Wallingford Neighborhood Design Guidelines, 2005.

Section 2. This ordinance shall take effect and be in force thirty (30) days from and after its approval by the Mayor, but if not approved and returned by the Mayor within ten (10) days after presentation, it shall take effect as provided by Municipal Code Section 1.04.020.

Passed by the City Council the 28th day of March, 2005, and signed by me in open session in authentication of its passage this 28th day of March, 2005.

Jan Drago

President of the City Council

Approved by me this 6th day of April, 2005.

Gregory J. Nickels, Mayor

Filed by me this 7th day of April, 2005.

(Seal) Judith Pippin

City Clerk

Attachment 1: Wallingford Neighborhood Design Guidelines

See City Clerk for Attachment

Publication ordered by JUDITH PIPPIN, City Clerk

Date of publication in the Seattle Daily Journal of Commerce, April 12, 2005.

4/12(184276)